



**City of Yachats
Meeting
To Be Held Via Zoom & In Person
Tuesday, April 7, 2026, 2:00 PM**

In Person Meeting Location:

Commons Building, Civic Meeting Room 3
441 N. Hwy 101, Yachats OR 97498

[Join Zoom Meeting](#)

<https://us02web.zoom.us/j/83554861795>

Meeting ID: 835 5486 1795

Agenda

Work Session

- Tree Ordinance Discussion
- Funding for Master Plan – Possible sources, Loans, Bonds, Tax District
- Public Restroom Discussion (Possible OCF Grant Opportunity)

Regular Session

- I. Meeting Called to Order** (reminder to silence phones)
- II. Announcements**
 - a. Pickleball Fundraising Tournament Update
- III. Reports** (an opportunity for Commissioner questions and comments)
 - a. Summary Meeting Minutes
 - b. Commons Reports

- c. Workgroups Report

IV. New Business

- a. Elect Vice Chair
- b. Application for Membership – Bill Reeves

V. Ongoing Business

- a. Phase II Walkway – Discussion

VI. Other Business

- a. From Committee
- b. From Staff

VII. Adjourn

This meeting is open to the public and all interested persons are invited to attend. This meeting will be audio and video taped. All items to be considered by the Committee must be submitted to City Hall no later than one week prior to the meeting. Minutes of all public meetings are available for review at City Hall, or on the City website at www.yachatsoregon.org. In accordance with ORS 192.630, City of Yachats will make a good faith effort to provide accommodations for any person desiring to attend a public meeting, if the request is made at least 48 hours in advance of the meeting time. The meeting room is physically accessible to persons with mobility devices; a sign language or foreign language interpreter may be available, with advance notice. Call City Hall at 541-547-3565 or Oregon Relay 1-800-735-2900 (TDD) two days in advance.
POSTED March 30, 2026 By: Kimmie Jackson, Recorder

DRAFT OUTLINE
RE: TREE ORDINANCE

Section 00.000.00 Tree Removal and Protection

A. Purpose

B. Definitions (definitions specifically related to this Section)

C. Tree removal without a permit prohibited

D. Permit Administration

1. City permit process.

a. Application

b. Site Plan required

c. Permit duration

2. Involvement of certified arborist.

3. Landscape Site Plan – tree removal Plan required

4. Penalties, claims and appeals

E. Tree removal on City property.

1. Prohibit cutting by anyone except City staff or City contractors.

2. Penalties

F. Tree removal on private property.

1. Authority of City to require tree removal

2. Removal of a tree which poses a safety hazard

3. Removal of a tree damaged by storm, fire or other injury
4. Removal of a dead tree
5. Removal of a diseased tree
6. Removal of a tree to construct a structure
- 7 Removal of a tree where required for solar access
 - Limitations
 - Follow-up inspection
8. Removal of a tree for passive solar (prohibit?)
9. Removal of a tree for health and vigor of surrounding trees
10. Removal of a tree for landscape purposes
11. Removal of tree for sight line / view purposes (prohibited?)
12. Replacement for trees removed
13. Exceptions

G. Trimming, pruning and maintenance of trees on private property.

1. Topping of trees (prohibited?)
2. Trimming / pruning of trees.

H. Protection of trees during construction / other tree removal activities

I. Approved tree species

J. Prohibited tree species

K. Additional requirements

QUOTE

120525-01-01 • 02/18/2026



OR Yachats City of Urben Blu

Customer:

Yachats City of
PO BOX 345, 501 Highway 101 N
Yachats, 97498

Ship to Zip: 97498

Prepared for:

Neal Morphis
Phone: 15418196568
cityclerk@yachatsmail.org

Prepared by:

C/O MRC, Inc.
PO Box 106
Spring Lake, NJ 07762
800.922.0070
hello@mrcrec.com
www.mrcrec.com

Quantity	Part #	Description
1	UBSUACT	Urben Blu - Urben Blu - Single Bathroom Unit, 8'11" x 15'6", 1 Self-Cleaning Toilet + 1 Mechanical Room + Adult Changing Table Includes adult changing table and heated concrete slab
1	1	Urben Blu - Urben Blu - Pre-construction Site Visit, Installation Supervision, Testing & Client Training (Visit 01: Validation of ground utilities, location, level etc.; Visit 02 – 3-day process: Day 1: Crane and connection supervision; Day 2: Ensure proper function; Day 3: Train client on app)
1	4	Urben Blu - Urben Blu - 5-Year SIM Connection & Virtual Tech Support 5-Year Bandwidth/Software License, Technical Support (during business hours), Sim Card, Monitoring (mandatory for self-cleaning) *Must be renewed in 5-year installments*
1	5	Urben Blu - Urben Blu - Water Fountain Two level water fountain with bottle filling station

Grand Total \$316,000.00

Comments

Shipping to Yachats, OR

Sales tax is not included.

Tax Exempt Certificate required at time of order or tax will be applied

Not Included:

- Customs
- Crane
- Site Prep, Stone to Spec
- Connections to water, sewer, electric

Included:

- Project management fee for install supervision
- State certified engineered drawings
- 3 year parts and labor warranty
- 10 year structural building warranty

RR/hn

QUOTE

120525-01-01 • 02/18/2026



INCLUDED WITH THE AUTOMATED WASHROOM

- State certified stamped and sealed drawings for approvals prior to manufacturing
- Automation and self-cleaning system
- 12-inch heated concrete slab
- Prefabbed product
- Packing/crating
- Flat roof with white membrane
- Concrete walls, vandal-proof, anti-graffiti protection
- Concrete sink
- Air exchanger
- Mechanical room
- Pressure washer
- Four-sided personalized exterior finish (add-on)
- 3D plans/renderings
- Installation supervision by Project Manager
 - Visit 01: Validation of ground utilities, location, level etc.
 - Visit 02 – 3-day process: Day 1: Crane and connection supervision; Day 2: Ensure proper function; Day 3: Train client on app
- 3-year parts and labor warranty
- 5-year bandwidth/software license, technical support (during business hours), sim card, monitoring (mandatory for self-cleaning) warranty (must be renewed every 5-years)
- 10-year structural building warranty
- Delivery to an accessible site

NOT INCLUDED UNLESS STATED OTHERWISE

- Unloading – crane rental & operator
- Electrical & plumbing (approximately 8 hours each)
- Stone/ground compaction to spec
- Anything not specifically listed as “included”

TERMS & CONDITIONS

- Orders not subject to cancellation
- 40% deposit due with executed order
- 30% paid at 50% of progress of manufacturing or 2 months following signing of order (whenever is soonest)
- 30% balance due prior to shipment
- Terms are firm due to finishing choices by customer being custom. Customer will be provided unique CSA and manufacturing numbers for bathroom if needed

PRICING NOTES (MRC reserves the right to requote if):

- Quote is older than 30 days
- Purchaser drawing approval exceeds 30 days
- Purchaser delays original ship date 30+ days

PROPOSAL INFORMATION/NOTES

- The proposal is based on design, not necessarily an exact match to bid or architectural drawings
- Lead times may vary significantly based on design complexity, seasonal demand, and current backlog
- Simple material supplier PO or signed proposal/order form are acceptable for ordering with deposit and agreement of payment terms stated above. PO legalese will be rejected
- MRC does not accept orders with contingent liability or liquidated damages

QUOTE

120525-01-01 • 02/18/2026



DESIGN/ENGINEERING

- Design requirements not disclosed to MRC prior to proposal or required revisions resulting from information not previously disclosed are subject to additional fees. Common examples are site-specific requests/requirements and pertinent foundation information, including but not limited to geotechnical reports, foundation depth limitations, epoxy anchor design, or installations near or connected to other structures causing drift snow loads
- PRELIMINARY WORK TO DEVELOP THE SITE AT THE EXPENSE OF THE CLIENT:
 1. The site must have a minimum bearing capacity of 50 kPa over the entire surface of the seat of the building
 2. Excavate the ground 12" (300mm) wider and longer than the exterior dimension of the building
 3. The bottom of the excavation must be 12" (300mm) lower than the projected bottom of the building
 4. Galvanized plate of 1/4" x 14 3/4" x 9 3/4 mesh not supplied by manufacturer
 5. An approved geotextile membrane as TEXEL 7609 or equivalent is required at the bottom of the excavation
 6. Install a 2" (50mm) high density insulation at the bottom of the excavation, (seal any opening crossing the insulation)
 7. Fill the excavation with a 12" (300mm) layer of granular stone compacted to 95% of the modified proctor
 8. Install 2" (50mm) high density insulation around the perimeter of the slab vertically and horizontally
- Local code may have requirements that are not the responsibility of MRC or manufacturer
- Each project is designed for its specific location after receipt of order. Occasionally, engineering determines that materials not included in the proposal are required. Such materials shall be provided by others
- Drawings provided with this proposal are preliminary and are not for construction. For complete project specific details, engineered drawings can be purchased separately without obligation to purchase the structure

FABRICATION/SHIPPING DETAILS

- Shipping dates are not guaranteed
- Freight is priced based on pooled loads to a location accessible by a flatbed semi-trailer
- Trucking will call at least 24 hours prior to delivery to coordinate
- Offloading by others. Materials must be stored off the ground and kept dry

SEPTIC

- Bathrooms can work with septic tank; however, no tank or pump is provided in this purchase. Local plumber being used by Customer will need to make sure this is done to local code and provide whatever is needed to execute this from a plumbing perspective.

QUOTE

120525-01-01 • 02/18/2026



Acceptance of quotation: (ALL INFORMATION REQUIRED)

Accepted By (printed): _____ P.O. No: _____

Signature: _____ Date: _____

Title: _____ Phone: _____

Email: _____ Facsimilie: _____

Purchase Amount: **\$316,000.00**

Order Information: (ALL INFORMATION REQUIRED)

Bill To: _____ Ship To: _____

Bill To Contact: _____ Ship To Contact: _____

Bill To Email: _____ Ship To Email: _____

Bill To Phone: _____ Ship To Phone: (Office): _____
(Cell): _____

Bill to Address: _____ Ship To Address: _____

Bill To City, State, Zip: _____ Ship To City, State, Zip: _____

SALES TAX EXEMPTION CERTIFICATE #: _____

(PLEASE PROVIDE A COPY OF CERTIFICATE)

4

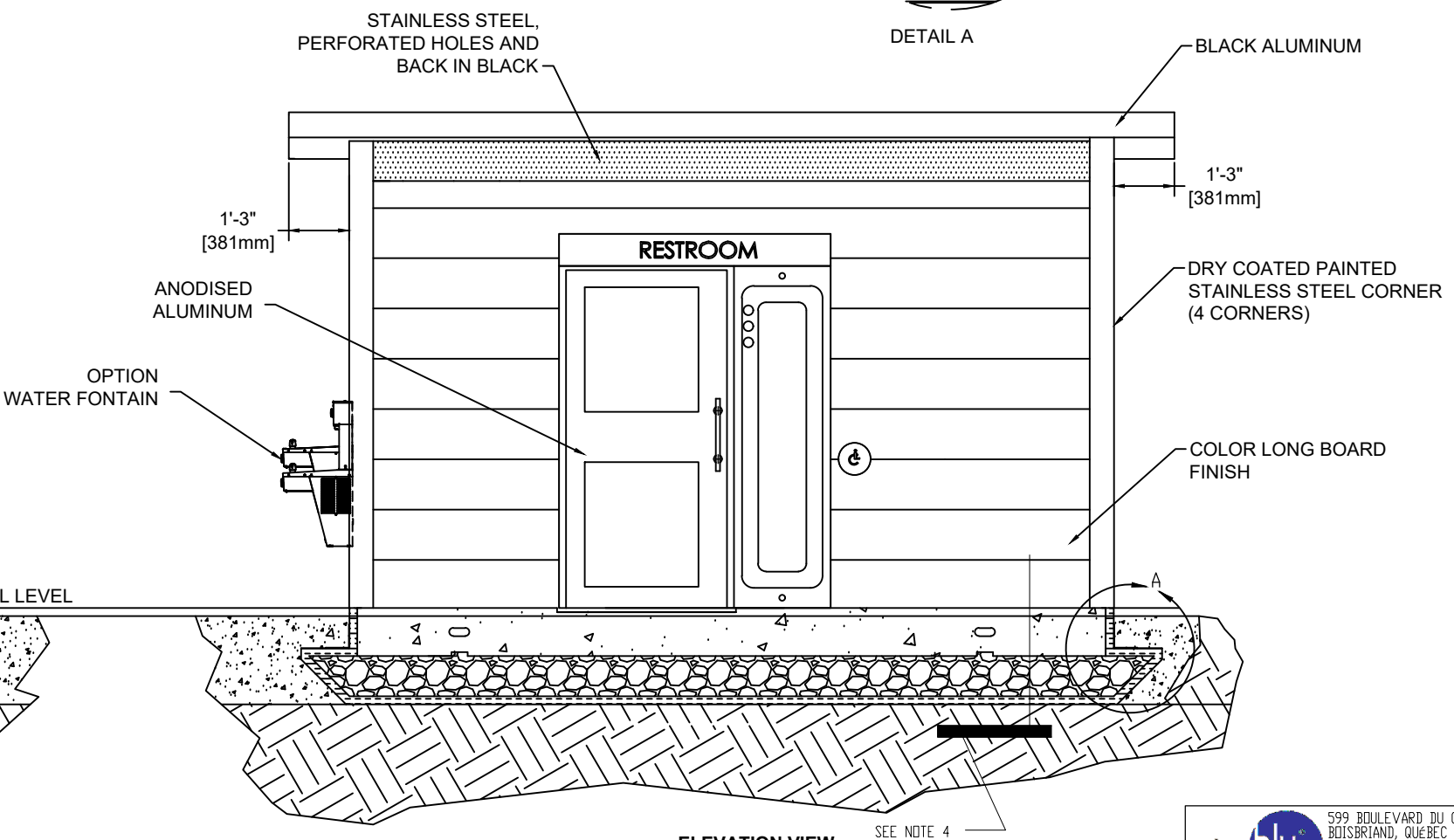
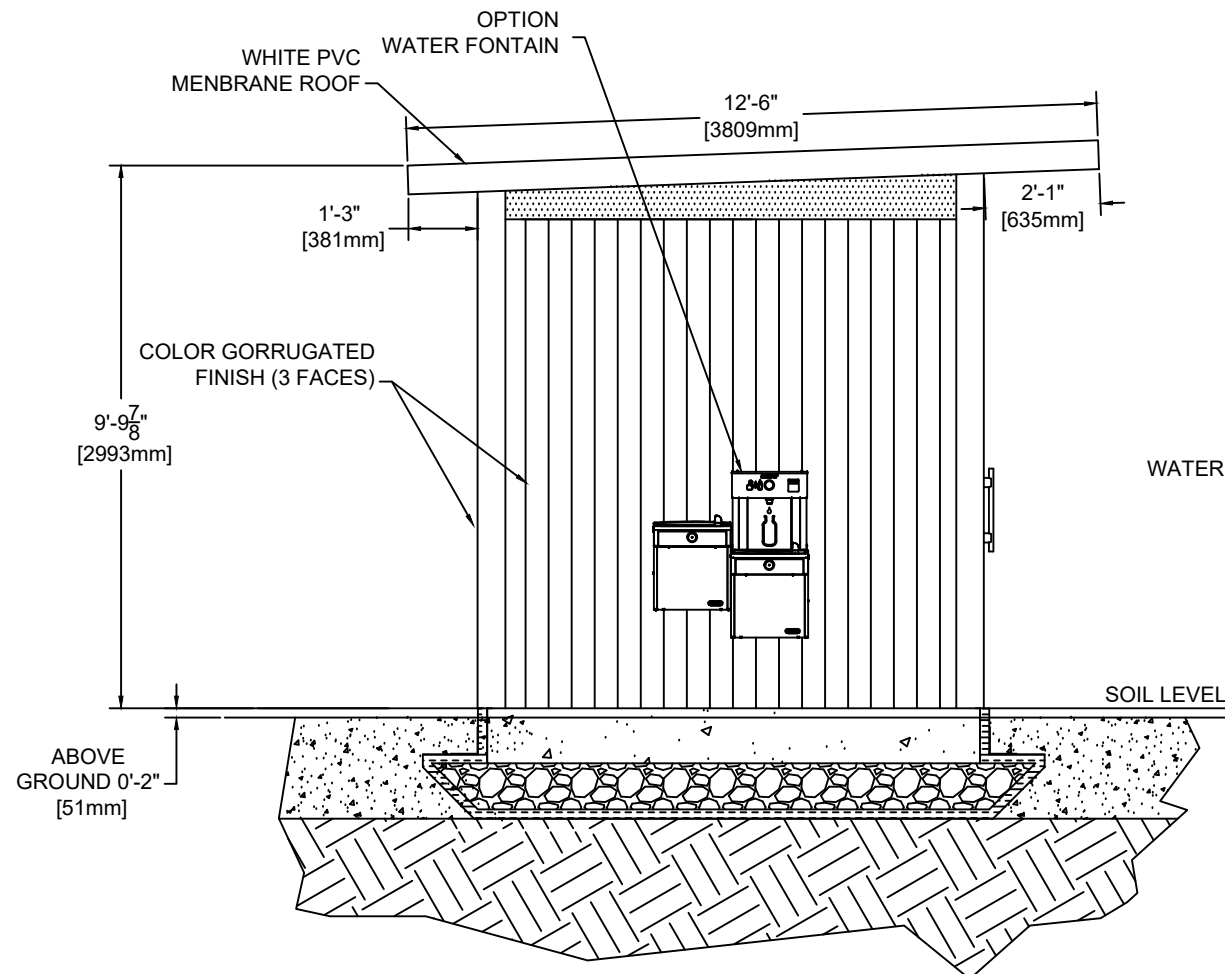
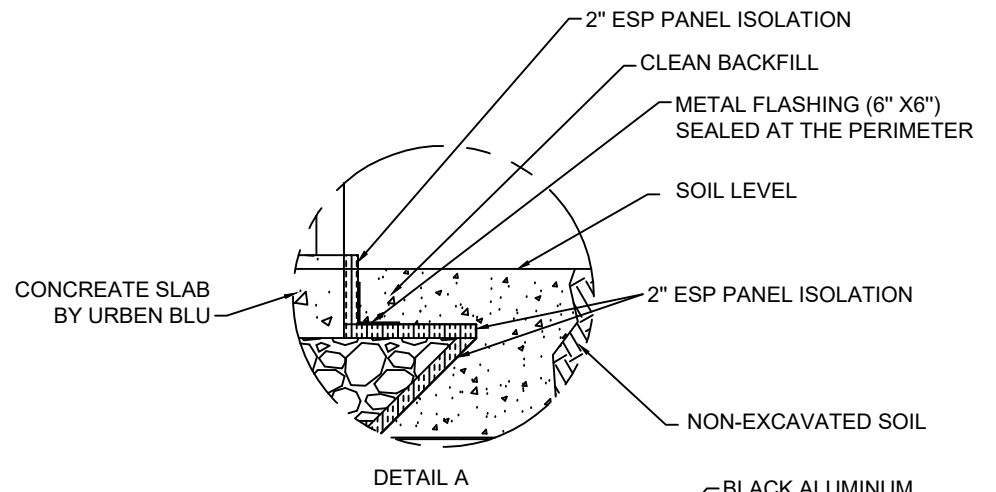
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- 1-The site must have a minimum bearing capacity of 50 kpa over the entire surface of the seat of the building.
- 2-Excavate the ground (12") 300mm wider and longer than the exterior dimension of the building.
- 3-The bottom of the excavation must be (12") 300mm lower than the projected bottom of the building.
- 4-Galvanised plate of 1/4" x 14 3/4" x 9 3/4" (wired Ø5/8, 8mas to 3/0 TOR) for grounding, 24" below ground level with mesh not supplied by UrbenBlu.
- 5-An approved geotextile membrane as TEXEL 7609 or equivalent is required at the bottom of the excavation.
- 6-Install a (2") 50mm high density insulation at the bottom of the excavation, (seal any opening crossing the insulation).
- 7-Fill the excavation with a (12") 300mm layer of granular stone compacted to 95% of the modified proctor.
- 8-Install (2") 50mm high density insulation around the perimeter of the slab vertically and horizontally.



PRELIMINARY

urbanblu 599 BOULEVARD DU CURÉ-BOIVIN
BOISBRIAND, QUÉBEC J7G 2A8
TEL:(450) 437-8094
FAX:(450) 951-9181

TOLERANCES / TOLÉRANCES : DIMENSIONS IN INCHES / DIMENSIONS EN POUCE TOLERANCES / TOLÉRANCES : FRACTIONAL / FRACTION ± 1/16 ANGULAR / ANGULAIRE : ± 0.5° BEND / PLI ± 0.020" X ± 0.040" X.X ± 0.020" X.XX ± 0.010" X.XXX ± 0.005"	CLIENT : XXXXXXXXXX	PROJECT / PROJET : SIMPLE UADA		
	DRAWN BY / DESSINÉ PAR : S.ASSELIN DATE : 2023-05-04 APPROVED BY / APPROUVÉ PAR : GUY THIBAUT	DRAWING No / No DESSIN : UBXX-9100		
PROPRIETARY AND CONFIDENTIAL / EXCLUSIF ET CONFIDENTIEL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF URBEN BLU. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF URBEN BLU IS PROHIBITED.		MATERIAL / MATÉRIEL : N/A PEINT / PEINTURE : N/A		FORMAT : B REV : NR PAGE : 1 OF / DE 8

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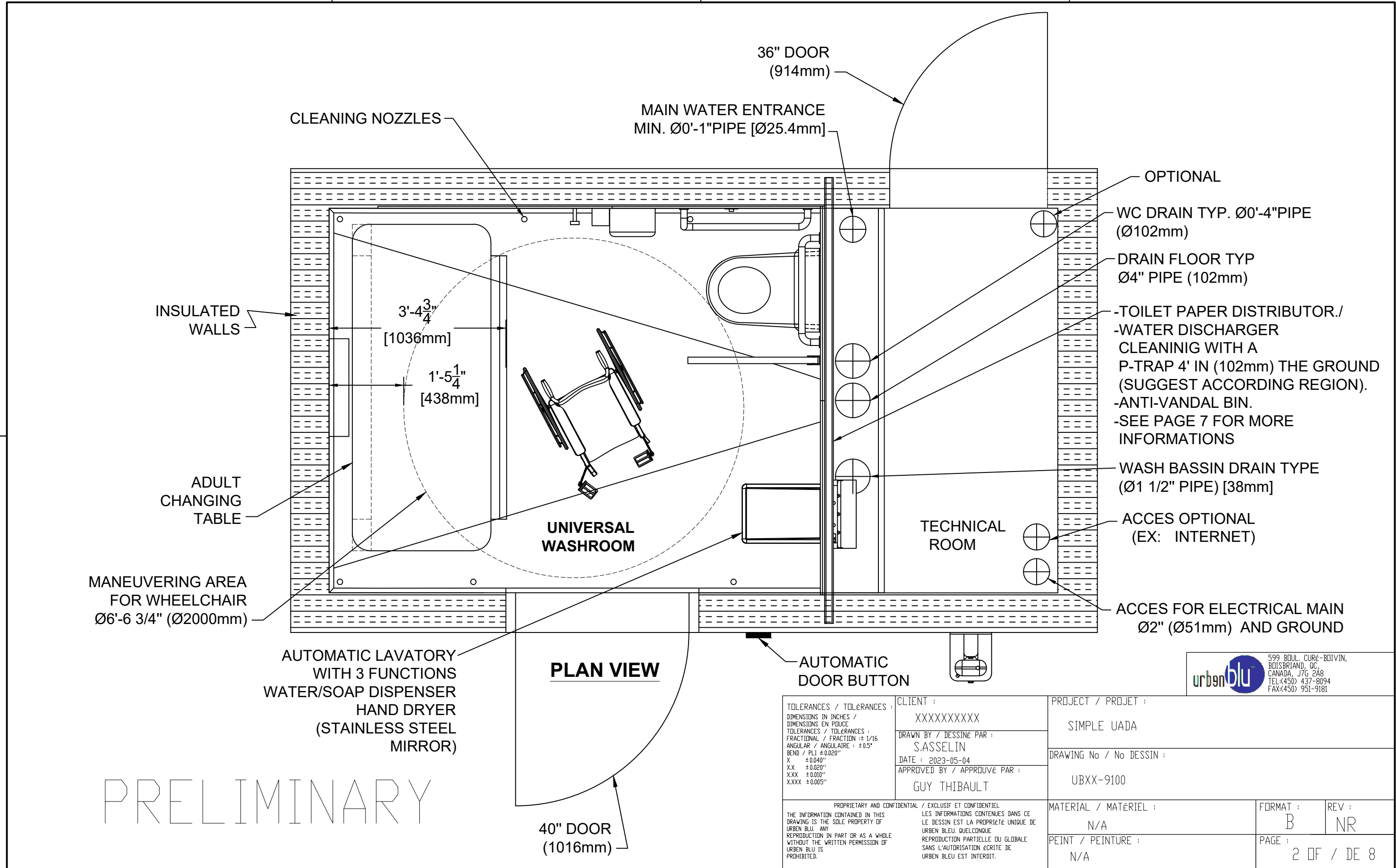
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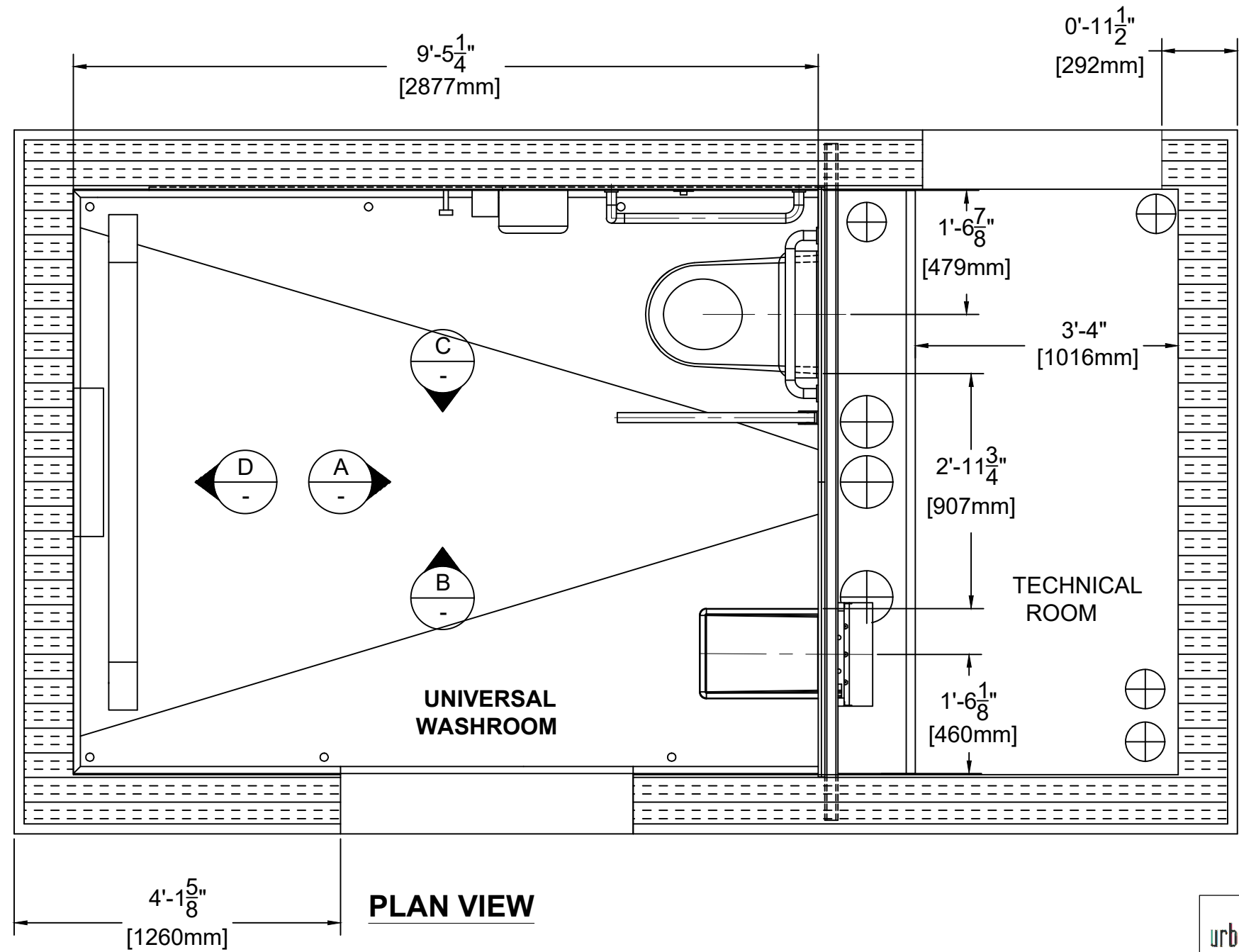
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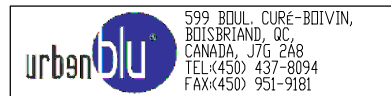
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PLAN VIEW

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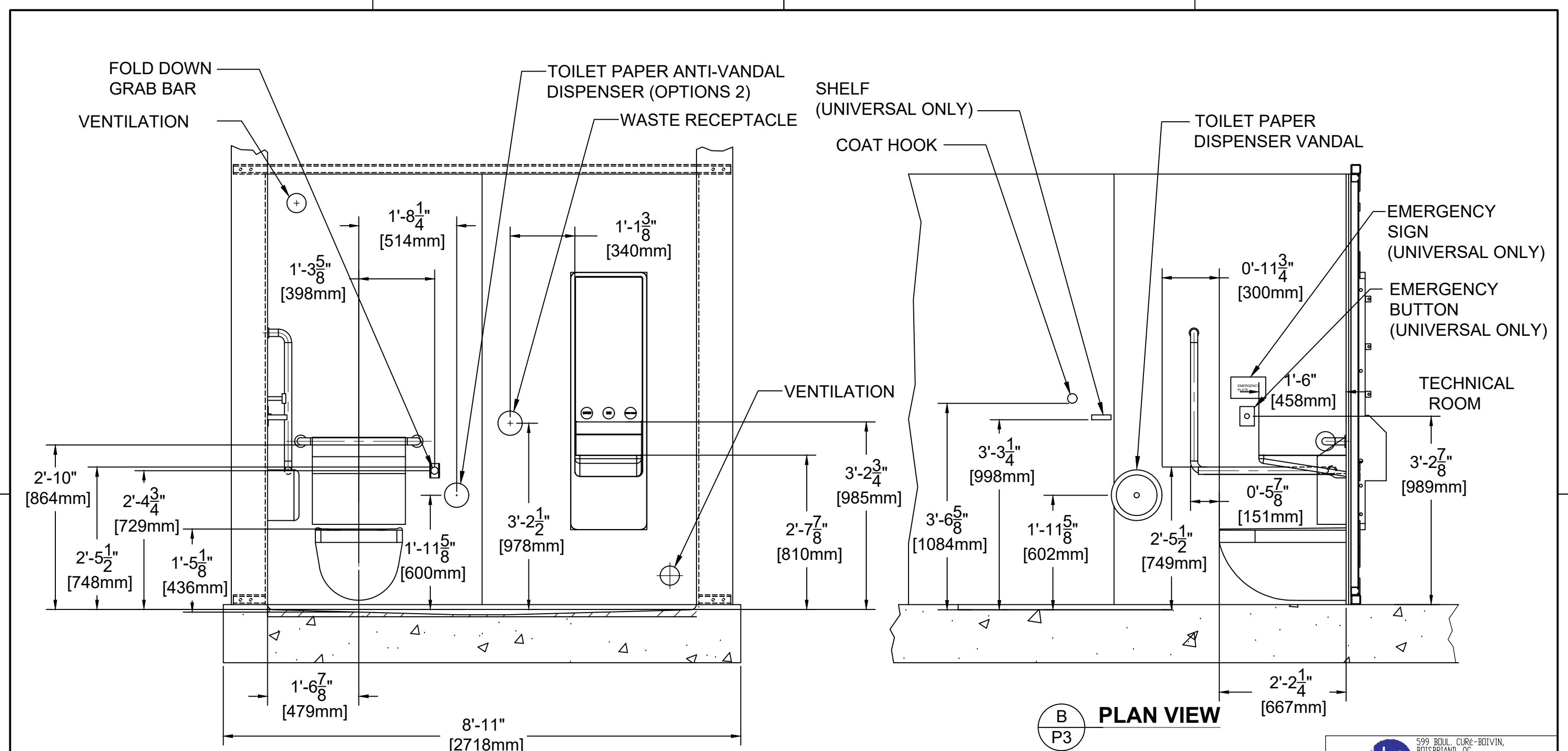
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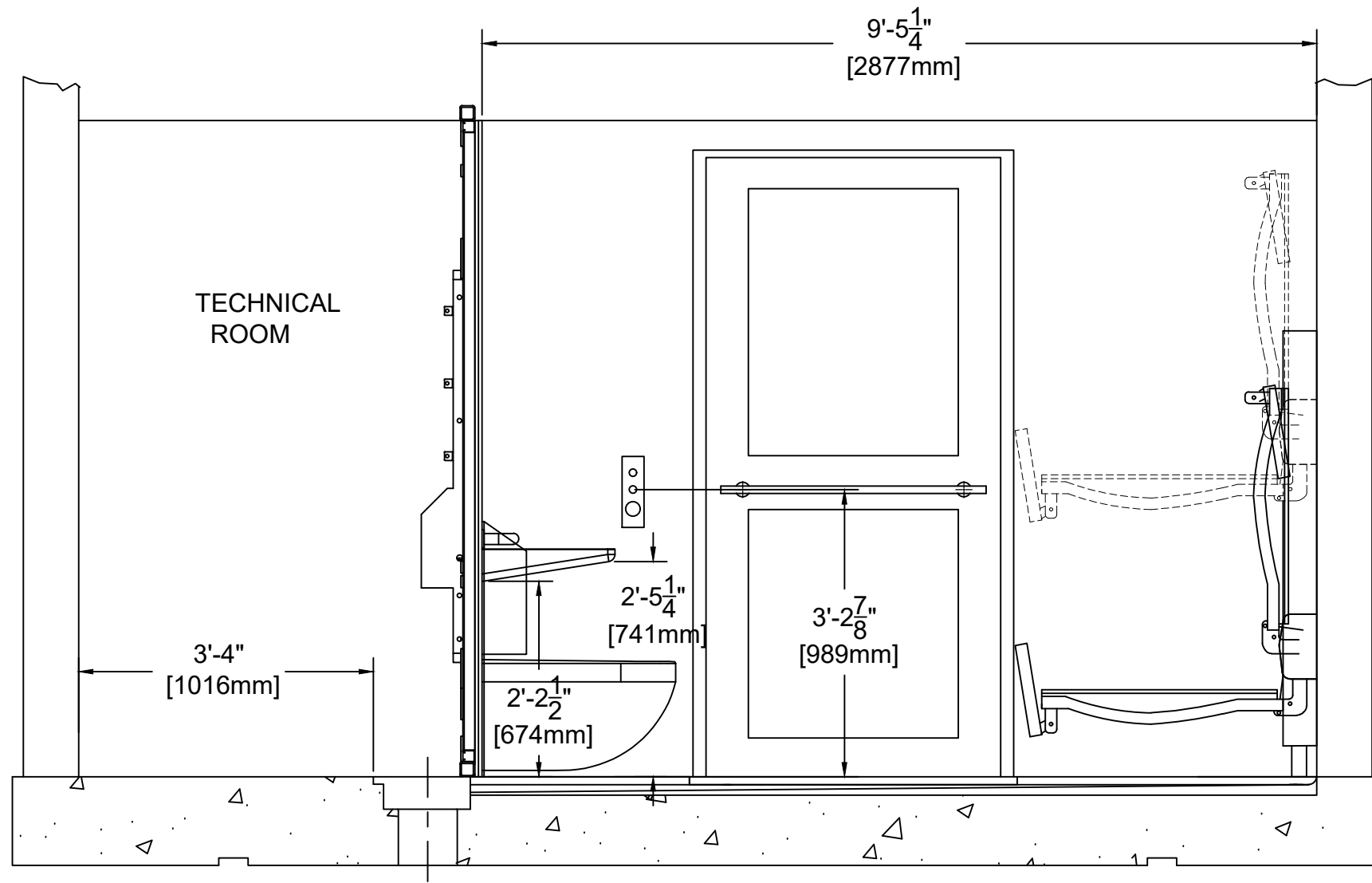
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**PLAN VIEW
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urbanblu
599 BOUL. CURÉ-BOIVIN,
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FAX:(450) 951-9181

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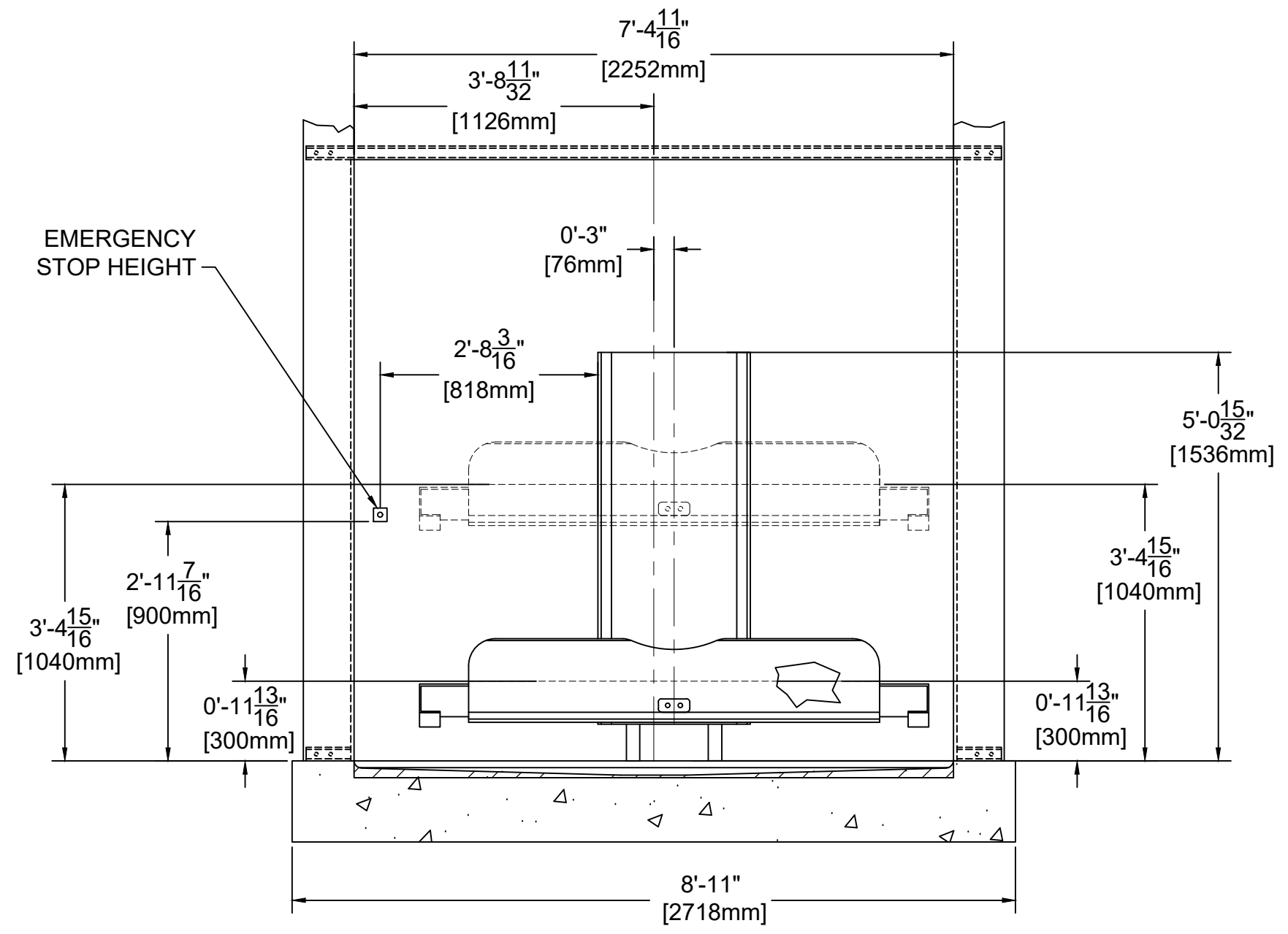
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EMERGENCY STOP HEIGHT

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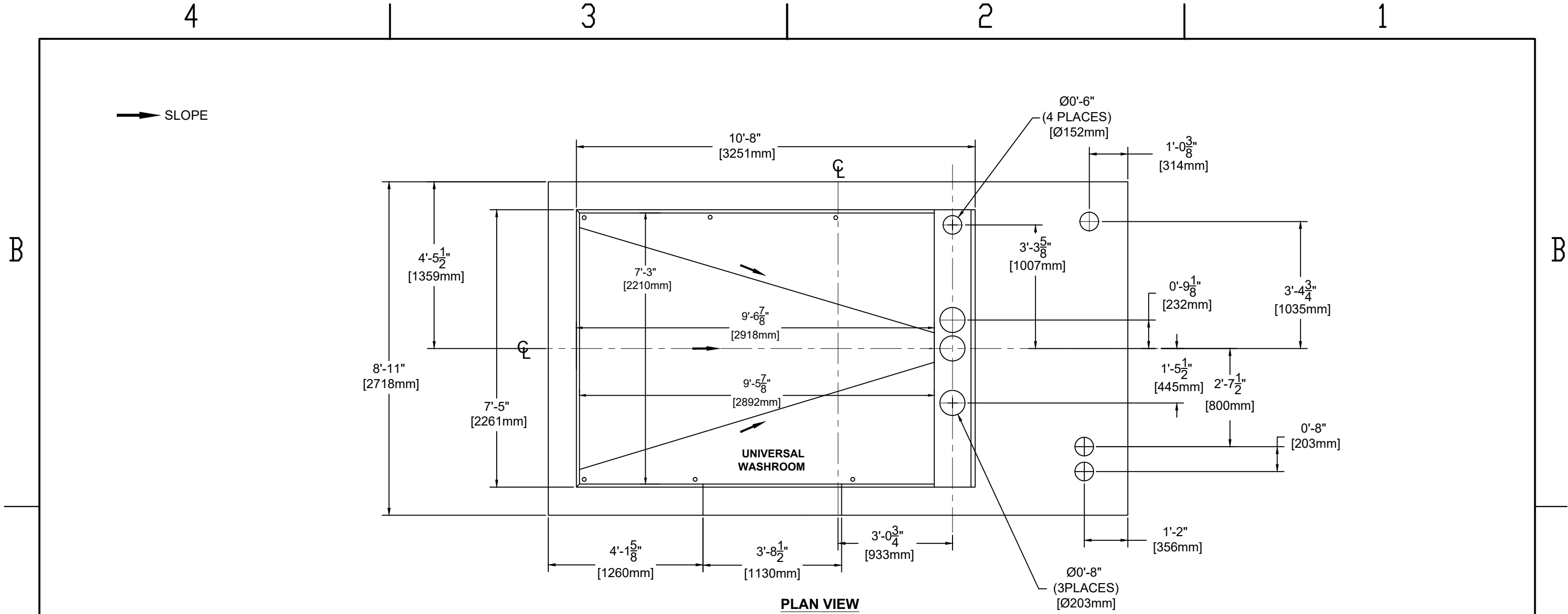
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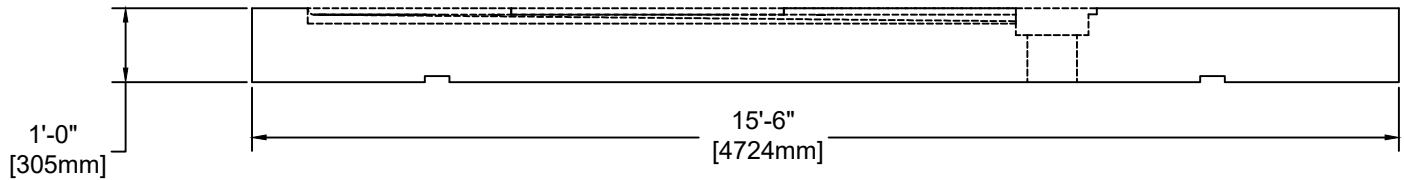
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ELEVATION

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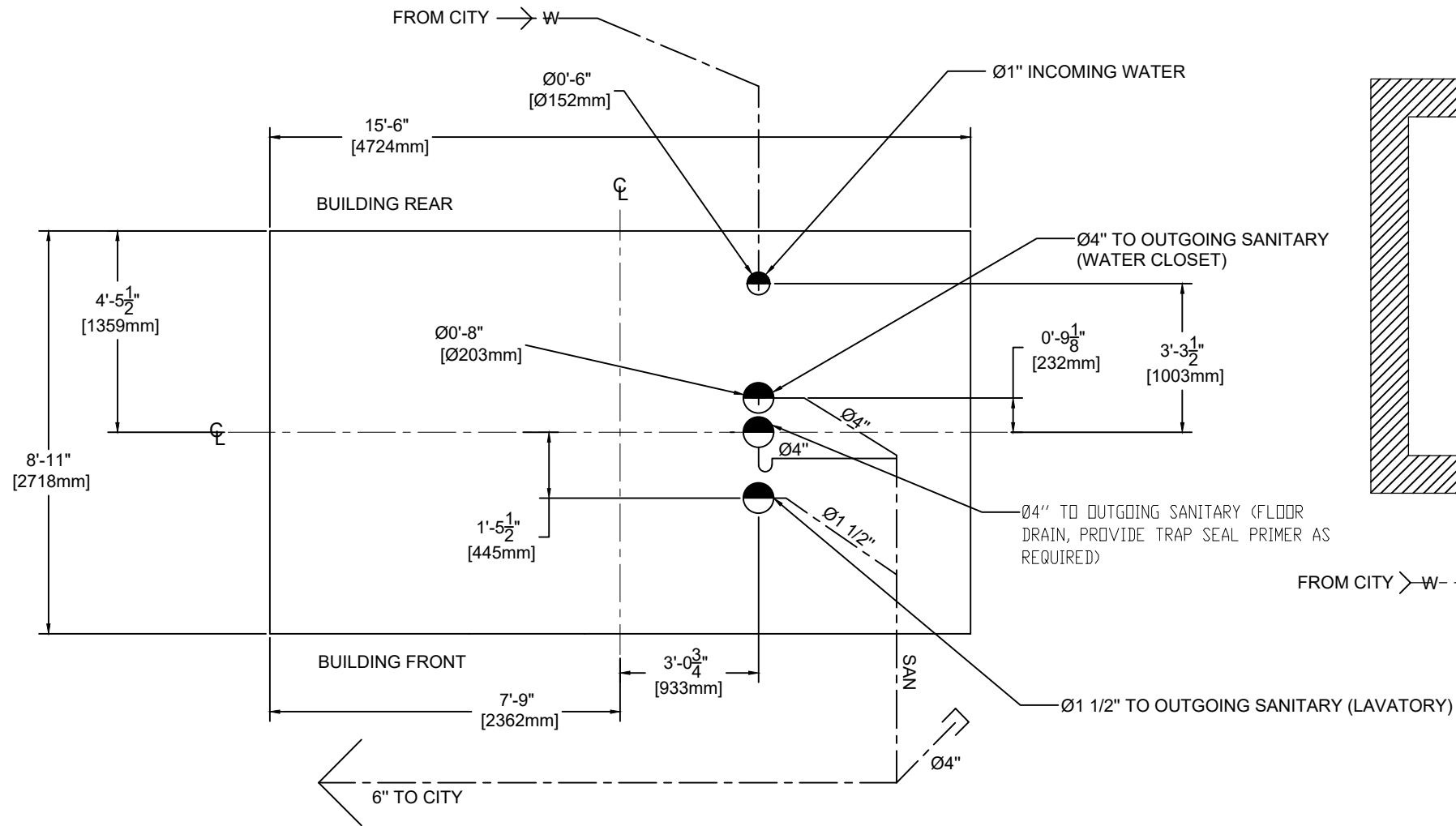
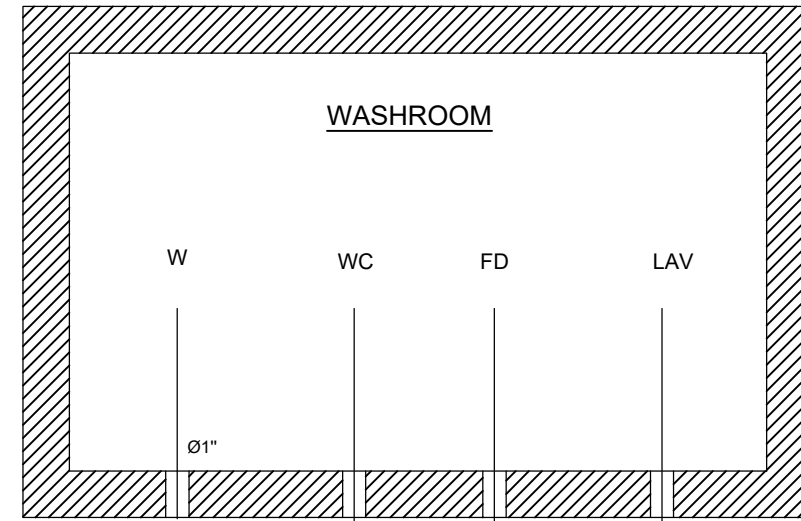
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LEGEND

- NEW SANITARY DRAIN BLOW GRADE
- NEW SANITARY SERVICE BLOW GRADE
- └─┘ SANITARY TRAP
- PIPE SECTION
- WC WATER CLOSET
- LAV LAVATORY
- FD FLOOR DRAIN
- CO CLEAN OUT
- W CLEAN WATER

PLUMBING PLAN BELOW GRADE



NOTE : READ THESE DRAWINGS IN CONJUNCTION WITH ALL THE REFERENCE DRAWINGS LISTED

PRELIMINARY

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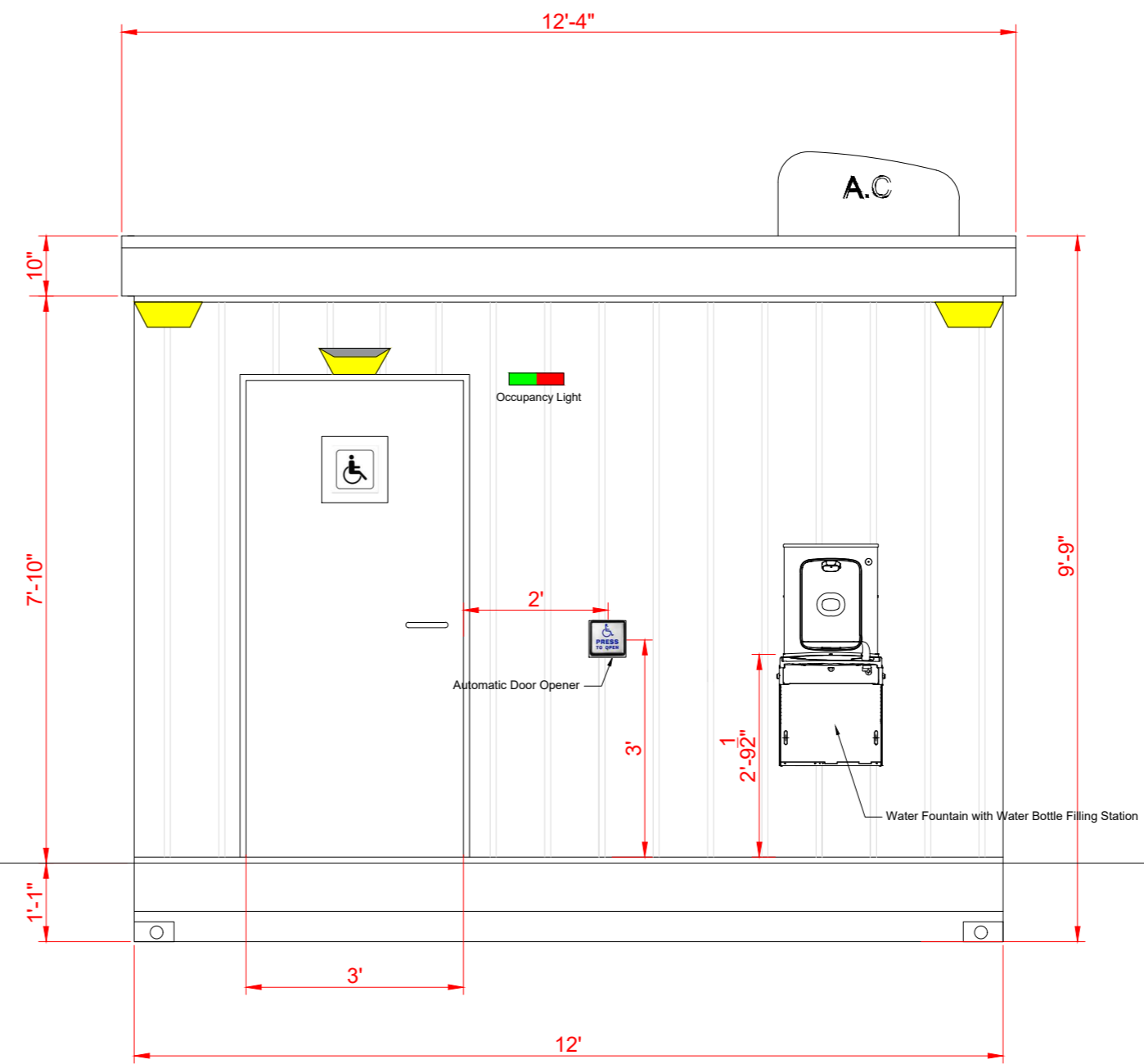
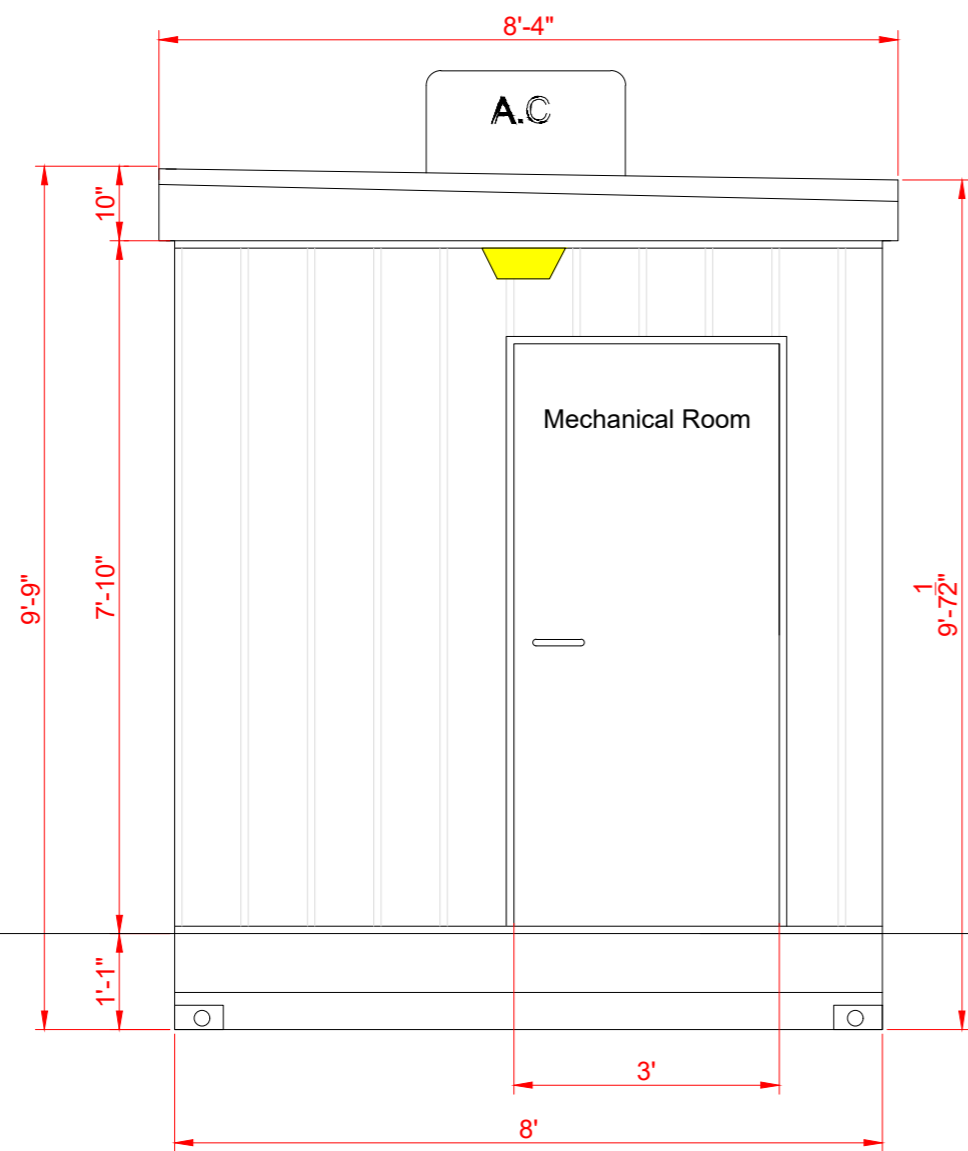
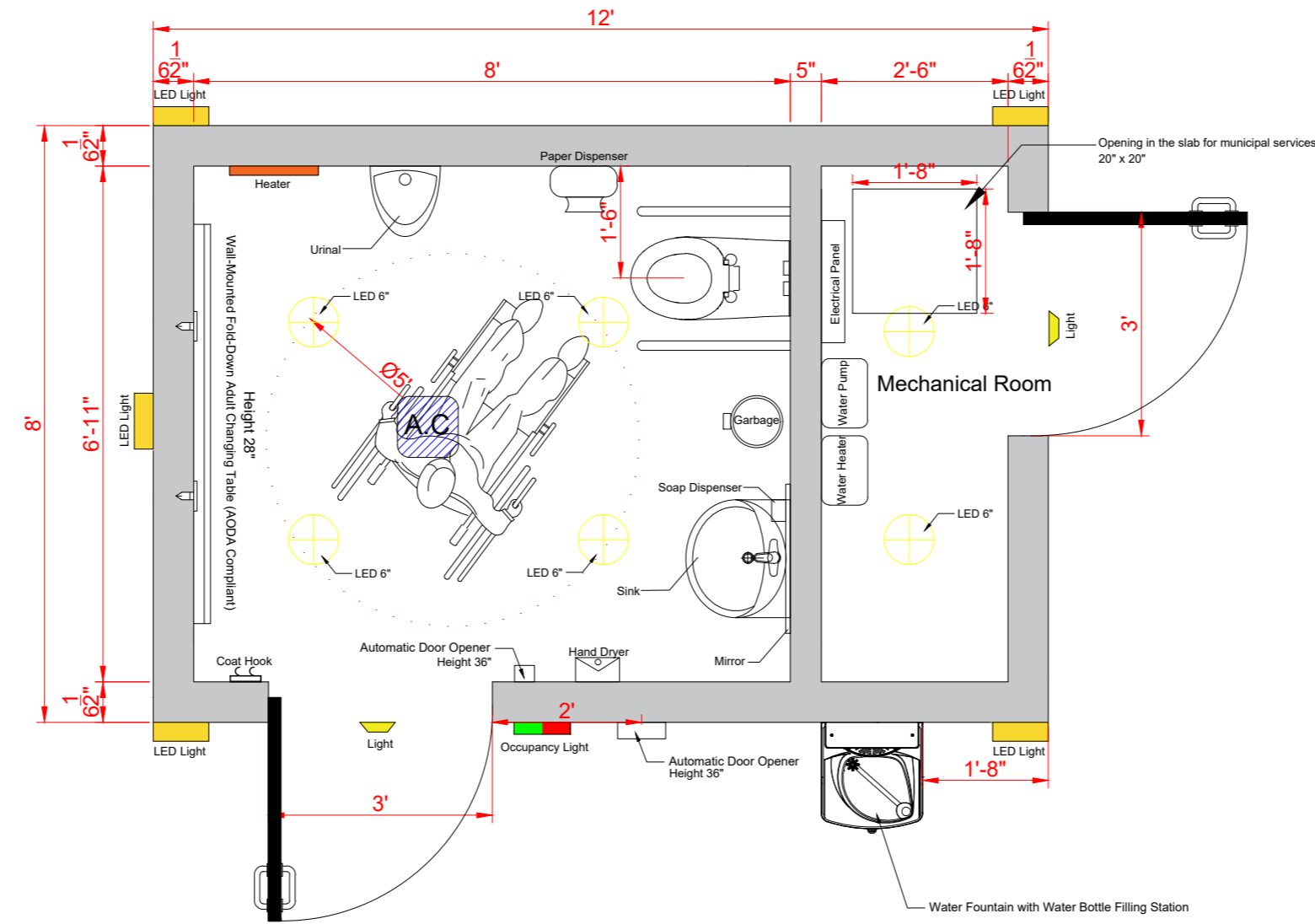
TOLERANCES / TOLÉRANCES : DIMENSIONS IN INCHES / DIMENSIONS EN POUCE TOLERANCES / TOLÉRANCES : FRACTIONAL / FRACTION ± 1/16 ANGULAR / ANGULAIRE : ± 0.5° BEND / PLI ± 0.020" X ± 0.040" XX ± 0.020" XXX ± 0.010" XXXX ± 0.005"	CLIENT : XXXXXXXX	PROJECT / PROJET : SIMPLE UADA	
	DRAWN BY / DESSINÉ PAR : SASSELIN DATE : 2023-05-04 APPROVED BY / APPROUVÉ PAR : GUY THIBAUT	DRAWING No / No DESSIN : UBXX-9100	
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		PEINT / PEINTURE : N/A	REV : NR
			PAGE : 8 OF / DE 8


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PROJECT: D-BOX 8'X12' ADA	
Date: Feb 24 2026	



January 24, 2026

NIU TOILET PROPOSAL FOR:

City of Yachats

8540527 Canada Inc. D.B.A. NIU TOILET

About Us:

NIU smart toilet is the latest division of Comac Corporation- a Canadian Corporation (established- 1984) specialized in manufacturing of smart toilets in North America. Our goal, to create the perfect smart self-cleaning bathroom with the highest efficiency at the lowest cost. To do so we have brought together the best engineers to create the world first revolutionary Smart Bathrooms to meet today and tomorrow requirements. The NIU Smart bathrooms are designed with one goal; Comfort, Safety & Innovation.

ADDRESS:

Comac Corporation- 833 Rue Beriault, Longueuil, Quebec, J4G 1X7 / 1-855-550-0303 / www.niutoilet.com / www.comaccorporation.com

Contact: Jeffrey Cohen- 514-444-3161- jeffc@niutoilet.com

Account types:

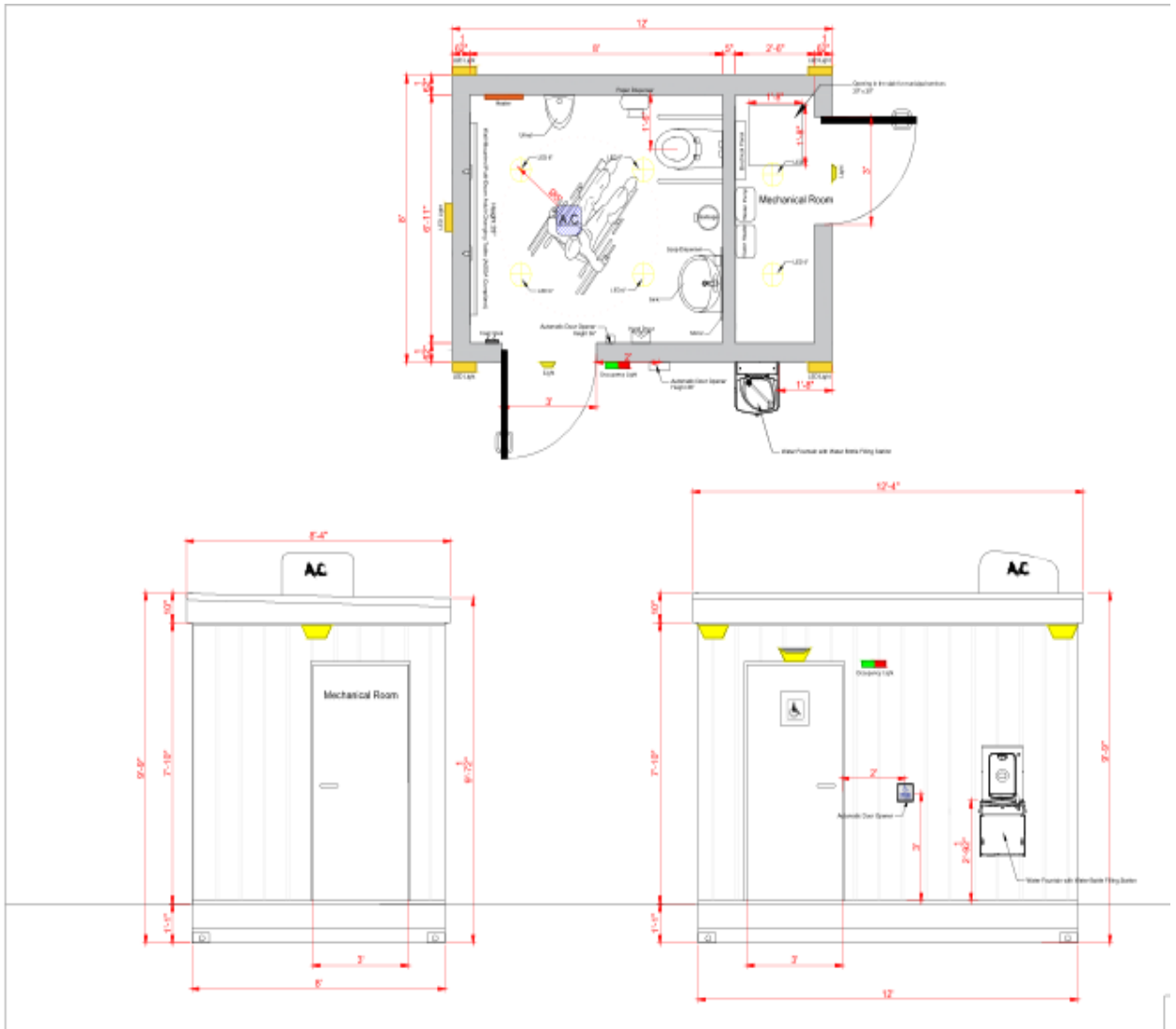
We currently work with procurement groups across North America (Sourcewell/Canoe/Merx/Procurated/etc) and supply school districts, government agencies (local and federal), rental companies, emergency relief sector, and other markets/sectors.

NOTE: There are different options for exterior colors and finish.



PROPOSED PRODUCT INFORMATION:

D-Box – 8 x 10- MENS/WOMENS ADA accessible washroom structure



Unit is designed to be connected to city services- water/sewage/electric



INCLUDED PRODUCT Features + Construction:

STANDARD FEATURES:

- Antibacterial walls
 - UV disinfection system
 - Self-disinfection system ULVC
 - Self-cleaning HVAC mechanism
 - Dual communication system (Remote accessibility)
 - Wireless camera
 - Waterless urinal – ***to be confirmed by customer***
 - ADA Automatic Stainless Steel toilet
 - ADA Stainless Steel sink
 - Stainless steel urinal
 - Hand dryer
 - Automatic Soap dispenser
 - Toilet paper dispenser
 - Paper towel dispenser
 - Automatic faucet
 - Waste Bin- recessed
 - Adult change table
 - Fire alarm
 - Smoke alarm
 - Mechanical room
 - Touchless control panels
 - Touchless paper towel dispenser
 - Automatic light (ON & OFF) inside and outside- 12V
 - Occupancy lights
 - 1000W/120V Heating system
 - AC – central heat and cold- 15000 BTU
 - Winter package
- EXTERIOR WATER FOUNTAIN/WATER BOTTLE FILLING

WARRANTY: *Physical Structure: 5 YEARS PARTS AND COMPONENTS /20 YEARS STRUCTURE*

(Interior Components- All Canadian Made COMAC products and accessories with lifetime warranty)

PRICE: \$199,00.00 (delivered and set up on location)

- TERMS: 30% DEPOSIT/BALANCE UPON DELIVERY
- Lead time: 12-16 weeks

Price Proposal: Sam Moore Parkway - City of Newport, OR
Date: November 12, 2024
Reference: 11502-1/3/2023-0
Sourcwell: Contract # 081721-PRM

Our Offer to Sell:

1. Restroom Building delivered to site @ \$ 220,363

Public Restroom Company (PRC) herein bids to *furnish (building only per plans and specifications, delivered to site with all costs except installation including applicable taxes excluding retention.* (Retention is not allowed as this is materials or a product fully assembled before shipment to the site and therefore not subject to retention.)

2. Installation: Turnkey Installation of the Building above @ \$ 30,163 with retention allowed.

Public Restroom Company also includes in this two-part quotation our turnkey installation package for this building. Our national factory authorized installation team will:

- a. Arrive onsite to confirm and verify the Owner/General Contractor provided scope of work in preparation for installation including access to the site.
- b. Verify the building pad size, building corners, finished slab elevation, utility depth and location, meter size and distance from building, and compaction compliance.
- c. Excavate the utility trenches for placement of our prefabricated underground piping tree for the buildings plumbing and electrical, set the kit in place, provide the water test for inspection before backfilling, and then place the site adjacent coarse sand you provide to us alongside the building pad and screed it level for final building placement. We will need onsite water availability for wetting the sand bed before building placement to consolidate the pad.
- d. Set the building on the site pad.
- e. Connect the utility piping stub ups to the building piping stub down building points of connection for water, sewer, and electrical conduit to the building internal electrical panel.

3. Owner/General Contractor Final Tie In of Utilities and other site work:

- a. The Owner/Contractor is responsible for making all **final plumbing connections** at the 6' POC locations.
- b. The Owner/Contractor is responsible for pulling wire and completing all final tie-ins to the electrical panel from the 6' POC location.
- c. The Owner/Contractor is responsible for preparing the pad/foundation. PRC will trench through provided pad/foundation to run utilities to 6' POC locations.

4. Total Cost of building and installation @ \$ 250,526

Sam Moore Parkway - Newport, OR | 11/12/2023 | Reference # 11502-1/3/2023-0
2587 Business Parkway | Minden, NV 89423 | www.PublicRestroomCompany.com | p: 888-888-2060 | f: 888-888-1448

OWNER/GENERAL CONTRACTOR SCOPE OF WORK WITH/WITHOUT FOOTINGS:

Scope of Work Background:

Owner/General Contractor shall survey the site, establish survey for the building pad and prefabricated building slab elevation and front corners, excavate for building footings (if required), locate footing sleeves for electrical, waste, and water, pour the footings (if required), furnish sand base adjacent to subgrade pad, and provide location for utility POC's nominally 6' outside the foundation.

Preparation of Building Pad:

Owner/General Contractor is responsible for providing the building subgrade pad or when required footings to frost depth per Public Restroom Company design specifications. PRC will provide detailed drawings for the subgrade building pad, utilities POC's, and if required the footings, attached to this scope of work.

Subgrade Pad/Foundation Requirements:

1. Owner/General Contractor shall survey the building site and provide a finished slab elevation for the prefabricated building. The building pad size we require is larger than the final actual building footprint. Provide building front corner stakes with 10' offsets.
2. Excavate the existing site to the depth of the required footings to local code if required.
3. Furnish coarse concrete sand adjacent to subgrade pad so PRC can cut the utility trenches, install underground utilities, and screed sand.
4. If determined that under slab vapor barrier and or insulation is required, Owner/General Contractor shall provide materials and installation.

Owner/General Contractor verification of site access to allow Building Delivery:

1. You certify to PRC that suitable delivery access to the proposed building site is available. Suitable access is defined as 14' minimum width, 16' minimum height, and sufficient turning radius for a crane and 70' tractor-trailer.
2. Our cost is based upon the crane we provide being able to get within 35' from the building center and for the delivery truck to be no more than 35' from the crane center picking point.
3. If the path to the building site traverses curbs, underground utilities, landscaping, sidewalks, or other obstacles that could be damaged, it is the Owner/General Contractor 's responsibility for repair and all costs, if damage occurs.
4. If trench plating is required, it shall be the cost responsibility of the Owner/General Contractor.
5. If unseen obstacles are present when site installation begins, it is the Owner/General Contractor responsibility to properly mark them and verbally notify PRC before installation.
6. If weather becomes an issue for safety or site installation delays due to weather, Owner/General Contractor or PRC with General Contractor's confirmation may call-off set. If building set is stopped, relocation of the building modules to an onsite or offsite location may incur additional costs to Owner/General Contractor.

Installation Notice and Site Availability:

PRC will provide sufficient notice of delivery of the prefabricated building. The Owner/General Contractor shall make the site available during the delivery period. During the delivery period, on an improved site, Owner should stop site watering several days before delivery to minimize the impact on the soils for the heavy equipment needed for installation.

Caution: *If site is not ready for our field crew to perform their installation and if no notice of delay in readiness from Owner/General Contractor is received, PRC will provide a change order for re-mobilization on a daily basis until the site is ready for us. Ready means that the site pad is completed, the corner required survey stakes are in place, the slab elevation stakes are in place, the location of the front of the building is confirmed on site, and access to the site is available from an improved roadway. Owner/General Contractor shall sign the change order before we will continue delivery.*

Public Restroom Company will “turn-key” set the buildings including the hook up of utilities inside the building (only) when they are available. PRC will use its own factory trained staff for the installation.

Utility Connections:

1. PRC to complete all internal building plumbing connections and connections from the electrical panel to building’s fixtures. The Owner/ Contractor is responsible for making the **final plumbing connections** at the 6’ POC locations.
2. The Owner/Contractor is responsible for pulling the wire and completing the final tie-in to the electrical panel from the 6’ POC location.
3. The Owner/Contractor is responsible for commissioning the building once final utility connections are made. This includes flushing & testing all water service lines before final startup.

Special Conditions, Permits, and Inspection Fees:

Follow any published specifications governing local building procedures for applicable building permit fees, health department fees, all inspection fees, site concrete testing fees, and compaction tests, if required by Owner. PRC is responsible for all required State inspections and final State insignia certification of the building, if applicable.

Jurisdiction for Off-site Work:

Jurisdiction, for permitting and inspection of this building shall be either the State agency who manages prefabricated building compliance in the state or the local CBO (when the State does not provide certification.) If the responsibility for building inspection is the local CBO, we will provide a certified plan set, calculations, and a third-party engineer inspection report for any and all closed work the local official cannot see.

PUBLIC RESTROOM COMPANY SCOPE OF WORK:**Our In Plant/Off-Site Construction Scheduling System:**

PRC has several off-site manufacturing centers in the United States, strategically located, with the proper equipment and trained staff to fabricate our custom buildings to our high-quality fit and finish standards. PRC manages quality control in our off-site production facility to comply with the approved drawings and provides an inspection certification and photos as required. When proprietary materials, which we have designed and fabricated, are part of the project, PRC supplies the manufacturing centers with these proprietary PRC components. We then schedule the in-plant construction process to coordinate with your delivery date through our Operations Division field staff. We guaranty on time at cost delivery weather permitting.

Special Payment and Progress Billing Terms:

Invoicing begins on the 30th of the month following an order and/or the acceptance of the proposal/contract. The first progress billing invoice will be issued for the commencement of design and engineering of architectural plans. This will be 10% of the contracted amount. Once construction begins invoicing will commence monthly based on plant percentage of completion, supported by photographs.

In the event of project stoppage, additional fees may be assessed for re-mobilization, storage, crane costs, etc. ***Our discounted project costs are based upon timely payments. Delays in payment could change delivery schedules and project costs.***

Delivery and Installation:**Site Inspection:**

PRC staff, upon site arrival, will verify the required dimensions of the building pad and the corner locations/elevation. We will also verify the delivery path from an accessible road or street and install the underground utilities to the point of connection nominally 6' from the exterior of the building.

Installation:

PRC will install the building turn-key, except for any exclusion (listed under "Exclusions," herein.)

Installation of Utilities under the Prefabricated Building:

We fabricate off-site an underground utilities (water, and DWV piping and fittings) preassembled plumbing and electrical tree. Our site staff will set the underground tree into code depth excavated trenches and our staff will install the coarse concrete sand to bed the piping per our submitted drawing.

We provide all the buildings under-slab piping including the driven electrical ground rod. The Owner/General Contractor brings utility services to within 6' of the pad and are responsible for final connections at that point.

Connection of Utilities Post Building Placement:

After placement of the building on the pad by PRC, our field staff will tie in the water and sewer connection “inside” the building only and terminate at a point of connection (POC) outside the building clearly marked for each utility service. The Owner/General Contractor is responsible for final utility point of service connections at the nominal 6’ from building locations.

Electrical:

PRC provides the electrical conduit to the POC 6’ from the building. The Owner/General Contractor pulls the wire and ties it off on the electrical panel.

Plumbing:

PRC provides the POC up to 6’ from the building footprint and the Owner/General Contractor connects the water to our stub out location.

Sewer:

Some sites depending on the local jurisdiction will require an outside house trap which Owner/General Contractor shall install if needed. PRC will provide you with a sewer point of connection including a clean out to which Owner/General Contractor will terminate the site sewer service.

Testing of Water, Sewer, and Electrical in Plant and Final Site Utility Connection:

Before the building leaves the manufacturing center, PRC certifies a pressure water piping test, DWV, and the electrical connections for compliance with code. While the building is fully tested for leaks at the plant before shipment, road vibration may loosen some plumbing slip fittings and require tightening once the building services (water) is completed. Owner/General Contractor is responsible for minor fitting tightening to handle small slip fitting leaks caused by transportation.

Time of Completion:

PRC estimates a 240 calendar day schedule to complete our scope of work from receipt of written notice to proceed together with signed approved architectural submittals from all authorities required to approve them.

Exclusions/Exceptions:

- 1. Access issues for delivery of the building by a clear unobstructed path of travel from an improved roadway to the final installation pad or foundation may cause site delays and extra cost at each site. This exclusion covers sites whose access is limited by trees, inaccessible roadways, overhead power lines at location where crane will lift building, grade changes disallowing our delivery trailers with only 4” of clearance to grade, berms, or uneven site grades, or when the path of travel is over improvements such as sidewalks, all of which are not within the scope of work by PRC. On some sites without on-site storage availability for buildings that cannot be set, relocation to a proximal crane yard and later relocated to the site for installation, will incur additional fees at rates that vary depending on local rates. PRC will provide written costs for this additional work by change order.**

2. If weather on site causes site delivery issues, the delivery may have to be diverted to an off-site location and the additional costs will be a change order to the bid. Our staff works with the Owner/General Contractor in advance to make sure sound decisions for delivery are made to avoid this issue. But sometimes Owner/General Contractor take risks for weather, but this risk is clearly at the Owner/General Contractor risk, not PRC.
3. Sidewalks outside the building footprint.
4. Trench plates or matting needed for protection of site soils, sidewalks, hardscaping, or site utilities shall be the responsibility of the Owner/General Contractor. Any site soils damage or other site improvements if damaged during installation shall be the responsibility of the Owner/General Contractor.
5. Not responsible for removing any soil, sand, or other debris as a result of trenching or installation.
6. Survey, location of building corners, finish floor elevation, excavation, and construction of subgrade building pad and footings (if required) per PRC plans.
7. Soil conditions not suitable for bearing a minimum of 1500 PSF with compaction to 90% maximum dry density shall require Owner/General Contractor correction before building placement. If no soils testing report is available before bid, Owner/General Contractor must verify site supporting soils at a minimum of 1500 PSF because that is the least we can place our structures on or Owner/General Contractor or engineer of record must design a foundation system to meet the imposed loads of site placement.
8. Improper water pressure, an undersized meter, or improper water volume flow to the building may necessitate a change order for installation of a building internal diaphragm tank to provide the minimum flow rate and static pressure of up to 60 PSI and a minimum of 40 PSI to properly flush the fixtures. Building water service chlorination, post installation, shall be by Owner/General Contractor.
9. Our bid included crane costs are based on a maximum 35' radius from the center pin of the crane (10' back from the rear of the crane) to the building center point of the furthest building module roof. If additional distance requires a larger crane, additional costs will be assessed by change order to the Owner/General Contractor.
10. Bonds, building permits, a site survey, special inspection fees, minor trash removal (nominally one pickup truck of shipping materials), final utility connections to the on-site water, sewer and electrical are by the Owner/General Contractor. Since the building is fully inspected and tested in plant, minor plumbing leaks (if water is not available when building site work installation is completed) is by the Owner/ General Contractor.
11. Site Traffic Control, if applicable, shall be by Owner/ General Contractor, not PRC.
12. Any equipment installation, site work or special inspections other than described within this proposal, shall be by Owner/General Contractor.
13. Backflow certification if applicable by Owner/ General Contractor.
14. Any Fire Suppression Systems by others, not by PRC.
15. Any future transformers, related shut offs, and disconnects for electrical is by others, not by PRC.
16. If determined that under slab vapor barrier and or insulation is required, Owner/General Contractor shall provide materials and installation.

Insurance and Prevailing Wage Certification:

PRC shall comply with the required insurance requirements, wage reports, and safety requirements for the project, including OSHA regulations.

Special Insurance to protect the Building before acceptance:

As PRC requires payment for each month of off-site construction, and since the building is not on owner property where their insurance will cover the building, we maintain a special policy that insures the property even when paid for off-site until the building is finally accepted by the owner. This special policy protects the Owner's custom ordered materials to be used in the fabrication of the building during this period. PRC provides this Stock Throughput Policy to cover the building materials from supplier to manufacturer, while it is being built off-site, while in transit to the job site, during and after it is installed on-site until final acceptance. This special policy has a \$1,000,000 coverage limit. This exceeds the cost of any single building we have offered for sale herein.

Errors and Omissions Insurance:

Our firm employs licensed architects, engineers, and drafting staff to provide design of our buildings. Since these buildings are required to meet accessibility standards and building codes on site, and since we are the designer, we carry Errors and Omissions Insurance (E & O) to protect our clients from any errors. The policy covers a limit of up to \$2,000,000 per occurrence and is more clearly explained in the insurance certificates we provide after receipt of a purchase order.

WARRANTY:

All work performed by PUBLIC RESTROOM COMPANY (called "Company") shall be warranted to the Owner to be of good quality, free of faults and defects in material, workmanship, and title for 5 years from last date of installation if building is installed by Company or 1 year if building is installed by Owner or Owner's agent without on-site supervision by Company. Company warranty on building shell including exterior walls, concrete 8" slab/foundation, and roof system is warranted for 20 years structurally. The Company will repair or replace at their sole option any defects in work upon proper notice to the below stated address below.

Owner/General Contractor selected parts and materials that are not PRC approved will not be covered under PRC's 5 year component warranty. These selections will be covered only by any available manufacturer warranty.

Our Company extended warranties shall be Company only and shall have no effect on any required Performance, Payment, or Warranty Bonds where Surety shall assume no liability to the Company, the Owner, or any third parties should the Company fail for any reason to deliver acceptable maintenance warranties beyond the one year period. The warranty extension is solely between the owner and PRC and not the general contractor, bonding company, or architect/engineer of record.

This warranty applies only if all work performed by Company has been fully paid for, including change orders if applicable. Company has no responsibility for any neglect, abuse, or improper handling of building product.

The warranties expressed herein are exclusive, and are in lieu of all other warranties expressed or implied, including those of merchantability and fitness.

There are no warranties which extend beyond those described on the face of this Warranty. The foregoing shall constitute the full liability of the Company and be the sole remedy to the Owner.

Term of Offer to Sell and Owner/General Contractor Acceptance:

This offer is valid for acceptance within 30 days, or when a part of a public bid for the applicable duration imposed within the Owner's bid documents. Acceptance is by approving our post bid preliminary notice to begin drawings subject to final Owner/General Contractor approval of our submittals and receipt of a contract or a purchase order/contract.

Special Notice of Possible Project Cost Increases as a Result of Late Payments:

In the event of delayed or late payment, PRC shall have the right to remedies including late charges, overall project total cost increases, and other damages as allowed by applicable law. The contract price quoted herein is a discounted price based upon our receipt of progress payments as invoiced on the agreed billing schedule of PRC. In the event of non-payment, PRC will provide a 5 day written notice to cure and if payment is still not received, the discounted price for the payment due may increase, to an undetermined amount, to cover work stoppage, remobilization, cancellation of materials and subsequent restocking charges, resale of the contracted building to another party, storage fees, additional crane fees, travel and per diem costs for field crews, and any other cost applicable to the project, as allowed by law. Interest if applicable to non-payment will be assessed at the maximum amount allowed by law or 18% whichever is greater.

Termination:

Upon Termination for any reason, Owner/General Contractor shall be liable for the cost of all work performed up to the date of termination. Additionally, Owner/General Contractor shall pay for off-site demolition and disposal of the partially or fully fabricated building as well as any non-returnable materials which were custom-ordered to complete fabrication in PRC's factory location. Any returned materials are subject to return and restocking fees at the Owner/General Contractor expense.

Venue for Contract Jurisdiction:

Public Restroom Company requires all contracts accepted by our firm to hold that the venue for legal jurisdiction for this contract offer and acceptance shall be Douglas County, Nevada. In the event of your default, PRC shall be entitled to the full amount due including reasonable attorney fees, costs, storage, expenses of physical recovery, and statutory interest, as allowed by law.

No modifications to this offer shall be authorized unless confirmed in writing by the President of Public Restroom Company.

Offered by: Public Restroom Company by



Charles E. Kaufman IV, President

This provides conditional acceptance of this preliminary purchase order for this building subject to acceptance of the submittals, furnished by Public Restroom Company. Once you accept the preliminary submittals, this shall become a final purchase agreement or at your discretion the final purchase order or a contract may be substituted with this attached.

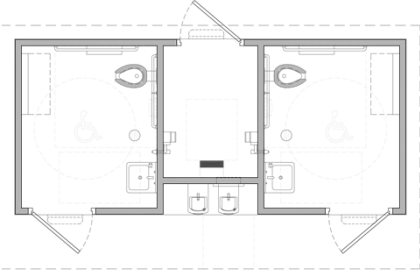
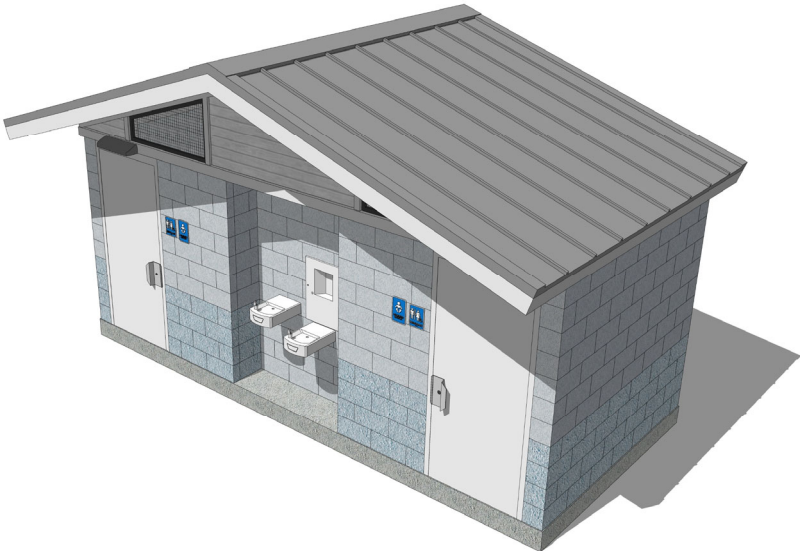
Accepted by:

Authorized Signature

Date Signed

Printed Name

Legal Entity Name and Address



FLOOR PLAN
SCALE: NOT TO SCALE

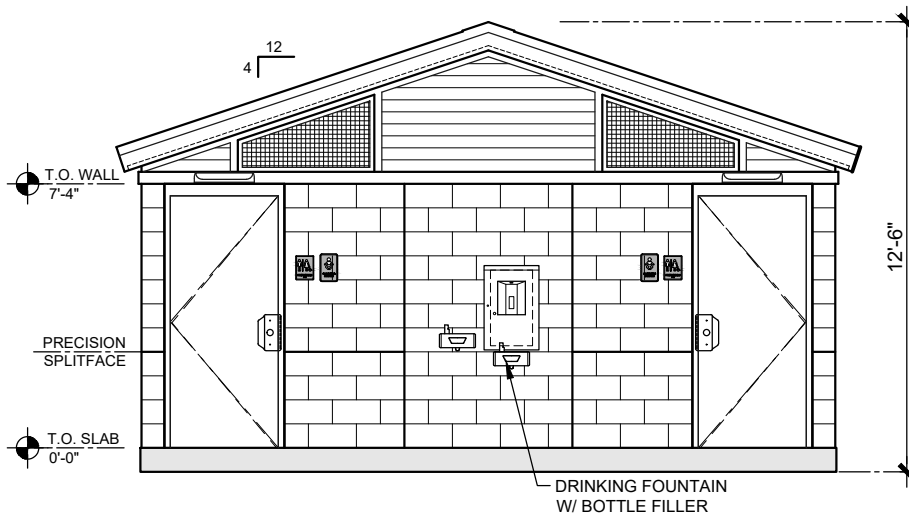
RESTROOM BUILDING
NEWPORT, OREGON
SAM MOORE PARKWAY

ARTIST IMPRESSION: 3D RENDERING ONLY FOR REPRESENTATION. COLORS AND MATERIALS ARE SUBJECT TO CHANGE

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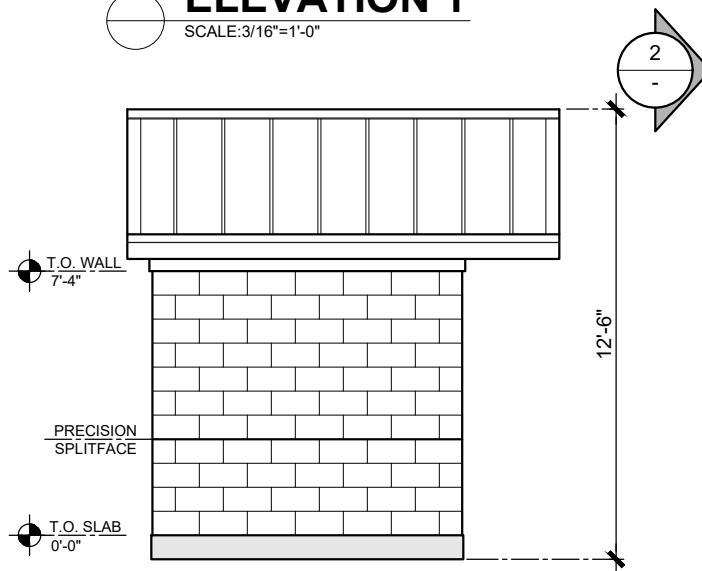


www.PublicRestroomCompany.com
2587 BUSINESS PARKWAY
MINDEN NEVADA 89423
P: 888-888-2060 F: 888-888-1448



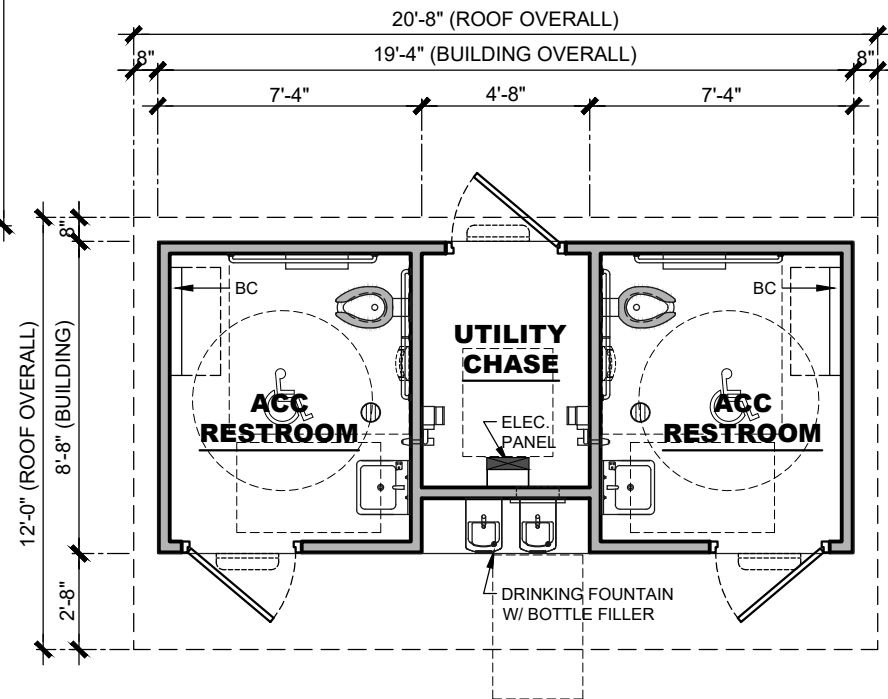
ELEVATION 1

SCALE: 3/16"=1'-0"



ELEVATION 2

SCALE: 3/16"=1'-0"



FLOOR PLAN

SCALE: 3/16"=1'0"



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BUILDING TYPE:	RESTROOM BUILDING
PROJECT:	SAM MOORE PARKWAY NEWPORT, OR

REVISION #	-
REVISION DATE:	
PROJECT #:	11502
START DATE:	1/3/2022
DRAWN BY:	EOR

SHEET#	
MAX. PERSON / HOUR:	90 S



CITY OF YACHATS
Community Spaces Committee
MEETING SUMMARY MINUTES
Room 3 441 Hwy 101 N. OR 97498
Tuesday, March 3, 2026, at 2:00 pm

Work Session

I. Meeting called to order

Commission Members	P/A
Adam Altson, Chair	p
John Pravel	P
Dan Wright	A

Staff Members	
Bobbi Price, City Manager	Kimie Jackson, Recorder
Rosa Marchand, Coordinator	

Work Session

The Community Spaces Committee convened with two members present. All regular agenda items were moved into the work session format. Guests included Tom Lauritzen, who participated in funding discussions.

1. Tree Ordinance - (02:22) The members began by discussing a proposed tree ordinance. The discussion outlined potential components, including regulation of tree removal on public and private property within City limits; permitting requirements; treatment of diseased, dangerous, or dead trees; tree replacement standards; protections during construction; solar access considerations; right-of-way trees; and enforcement mechanisms. The Committee also discussed how other Cities have structured ordinances, including simple diameter-based restrictions and more comprehensive models. The ordinance would apply only within city limits; it was indicated that further drafting work would occur, along with public outreach opportunities.
2. Funding for the Master Plan - (07:26) The members then discussed funding strategies for implementing the adopted Greater Commons

Master Plan. The total estimated cost of the plan projects was identified at approximately \$15 million, potentially reduced to roughly \$13 million if certain high-cost sustainability elements are removed. Members reviewed common municipal funding tools, including savings allocations, loans, bonds, and local option levies. Discussion included the possibility of a recreational tax district; however, concerns were raised about governance structure and the complexities of oversight. A 10-year local option levy was identified as a more straightforward potential funding mechanism should the City pursue voter approval.

The members discussed prioritizing projects, identifying grant-eligible components, and preparing “shovel-ready” packages to improve competitiveness for outside funding. Members emphasized focusing on low-hanging fruit, ADA-related improvements, and projects that could attract state or federal grants. The pavilion project was noted as shovel-ready and well-positioned for grant applications. The Committee also discussed sequencing projects strategically to maintain operational flexibility during renovations.

Budget context was reviewed, including existing Commons-related capital requests totaling over \$1 million for the upcoming fiscal year, with several items tied to Master Plan implementation. The possibility of allocating a portion of City funds annually toward plan implementation was discussed, along with modeling potential levy impacts. The Committee acknowledged the importance of public outreach and suggested utilizing surveys and community engagement to gauge voter support before advancing any bond or levy measure.

Additional discussion addressed transient lodging tax allocations and potential state-level legislative changes, as well as the possible use of Urban Renewal funds and grant opportunities through organizations such as AARP and state parks programs. It was agreed that further refinement of project phasing, cost sequencing, and funding strategies was necessary before advancing to formal funding.

Adjourn Community Spaces Committee Meeting 4:09 pm.
Minutes prepared by Kimmie Jackson, Recorder

April CSC Report

- **Bathroom Project/ North End of the Commons Update (Phase I & II)** The bathroom project took longer than originally anticipated. The project was completed by March 1st, with only a few remaining cosmetic fixes, such as touch-up painting and resealing the soap dispensers; still to be addressed. **←Has been corrected** We have passed the county inspection, and the restrooms have been deemed user-ready and fully ADA compliant.
At this time, Phase Two is being placed on hold and will be revisited at a later date
- **T-Mobile Grant:** All letters of support for the Pavilion rehabilitation project have been received. Thank you to Adam Altson and the CSC for their assistance in securing these letters. All other required documentation has also been secured as well, the budget template has been filled out, and all application questions have been answered. I plan to conduct a final review of the application and submit it by Monday, March 30.
- **OASIS Marine Debris Internship:** The City of Yachats has applied to host an intern this summer through the Oregon Sea Grant OASIS program. If selected, the intern will be based in Yachats from June through August and will assist with the **Waste Prevention and Materials Reduction Initiative**, a project focused on eliminating waste before recycling or disposal becomes necessary. The intern will help develop policies, operational practices, and purchasing guidelines that reduce material use and waste generation within City buildings and heavily used community facilities. Secondary projects may include identifying system improvements for waste and toxics reduction in municipal operations, as well as supporting the **Community Recycling Enhancement Initiative** by assessing existing recycling systems to reduce contamination and improve effectiveness
- **Reservation Site and Policy Updates & Securing Rental Spaces**
We have been actively working to place all recurring events - large and small - as well as ongoing user group activities on the calendar through the end of **2027**. Doing so ensures that these dates are reserved and protected well in advance, providing greater stability and clarity for long-term planning.
To improve the booking experience, we have updated our reservation process to make it more user-friendly. Under the revised policy, deposits and fees can now be placed **on hold until the event date**, rather than requiring payment at the time of booking. This change removes a key barrier for renters and simplifies advance planning.
In addition, we are in the process of updating all rental policies to be more concise and accessible. These updates include clearer language, added images, and improved organization. We are also working to ensure that **all rental spaces;**

including the Commons, Library and LLCM are live and fully available for booking and reservation on our sites.

To further support secure and efficient rentals, we are implementing several facility improvements. These include the installation of **lock boxes for keys**, ensuring doors can be locked to restrict access to non-permitted areas, and exploring the addition of **more Ring cameras** to enhance security.

- **Commons and City Storage Room Cleanup & Surplus Sale**

We plan to organize and clean Rooms 7 and 8, the multipurpose storage room, and the Commons stage area. Any items that do not belong in these spaces or are no longer in use will be relocated to Room 8 for sorting.

Additionally, we will remove all items currently stored in the City's storage unit and return items to their appropriate locations. Any items that are unaccounted for, no longer needed, or no longer functional will also be placed in Room 8.

Once Room 8 is consolidated, we will organize and itemize all stored items in preparation for a surplus sale scheduled for **April 24**. Items that do not sell at the surplus sale will be donated to the Lions Hall Thrift Store or disposed of at the dump, as appropriate.

After the cleanup and surplus sale are complete, I will create and print detailed layout diagrams showing how items are stored in each Commons room. These layouts will be posted in each room for reference to support ongoing organization and ease of access.

- **YYFAP Expansion:** It was determined that the cost of preliminary architectural and engineering work would be too high to proceed. Given the financial demands of these early-stage requirements, we are pausing our application for the Child Care Infrastructure Grant. Instead, we will be pursuing a planning grant to cover these initial expenses. This approach would better position us to prepare a strong application for the main infrastructure grant and ensure the expansion is both feasible and sustainable. I am in the process of looking into a planning grant now.

- **Acoustic Treatment:** The acoustic treatment for the Multipurpose Room at the Commons was evaluated, but the cost exceeded the current fiscal year's budget capacity. It has been determined that this expense will be deferred and included in next fiscal year's budget planning

- **Sound and Lighting:** The New Lighting system has been installed. It is operational through a tablet and lighting board. The Speakers and Subwoofer have been installed. The Control Panel has been installed. A few more modifications to the system to come. Jeremy, our sound professional, visited on February 1st to install updates that enabled Zoom and live-streaming capabilities in the Multipurpose Room. Following these upgrades, we successfully hosted our first City Council Meeting in the space on February 4th, utilizing the new system. We also used the new features during the State of the City event, which was likewise held in the MP Room.

- The only issue that surfaced during these events was the recorder's need for a hard-wired ethernet connection to maintain adequate internet speed for her program, software, and Zoom. When she logs into the building's Wi-Fi, her system runs significantly slower, creating substantial lag. We will be working to improve this connectivity issue to support smooth operation during future meetings and events. **Efforts to resolve this problem are currently active.**
- **Emergency Shelter:** Current Focus: Collecting and organizing essential shelter supplies. Developing binders with operational procedures and volunteer guidelines. Creating clear documentation and signage for shelter areas.
- **Generator:** The generator would need to be transferred from Public Works to the Commons, and the one that is already at the Commons will be transferred to City Hall. The breaker panel at the Commons is corroded and must be replaced before the generator can be installed there. The work will be extensive and costly, requiring us to apply for a grant and get on a wait list for repair work. In the meantime, I plan to go through the commons and mark each line that is currently attached to the Generator.
- **Room 8:** Due to wear and tear from the library bookshelves, along with years of vendor use, the walls had become scuffed, and the paint was in poor condition. To address this, Room 8 was repainted with light gray walls and white trim around the windows.
- **Room 3:** I'm currently working with NBS to outfit Room 3 as an official conference room, similar to the Civic Meeting Room. The TV and Room 3 will remain available for other uses and events, in addition to the conference room, ensuring the space continues to serve multiple community needs. **New Lighting has been installed in Room 3**
- **Spitballs on the men's bathroom ceiling:** Preteens participating in the YYFAP afterschool program have been observed spitting paper spitballs onto the ceiling of the men's restroom in the Commons building. Given the age of the building and the potential presence of asbestos and lead-based paint, this behavior presents a serious health and liability concern. As a result, Public Works were required to remove the spitballs to mitigate potential risk. Kristi, the YYFAP Director, has been working closely with us to address the issue. She plans to implement behavior contracts with the involved students and their families to prevent similar incidents in the future.
- Additionally, I plan to include provisions in YYFAP's contract renewal this summer that allow for fees to be assessed when Public Works must respond to messes or

damage caused by program participants. These fees would help offset staffing costs and provide coverage for any current or future damages resulting from student behavior.

- **Basketball Hoop repair:** Following the free-throw competition, it was observed that a screw had come loose from one of the basketball hoops. Searose responded promptly to repair the hoop and also realigned the chain to ensure the hoops can be properly leveled when extended.

-

- **Commons Supplies/Rental Packages/ Pricing update:** in progress, with plans to be implemented at the beginning of the year, after construction and updates.

- **Live music Fundraising:** TBA

- **Projects that need attention and discussion**

- **Multipurpose Room Lighting:** Several light fixtures in the Multipurpose Room are missing protective cages. I will conduct an inventory, order the replacement cages, and submit a work order to Public Works to have them installed once they arrive.

- **Commons Restroom Signage:** I will research and propose bathroom signage for the Commons to clearly direct visitors to the restrooms within the building.

Currently, there is no restroom signage, and with the addition of the new bathrooms, wayfinding will improve public use and accessibility of the space.

- **Recycling Receptacles:** I will continue researching affordable, commercial-grade recycling receptacles suitable for both the Commons and City Hall to improve waste diversion and consistency across facilities.

- **Under-the-Stage Project:** I will identify and reach out to qualified welding and woodworking companies to complete the under-the-stage project.

Changing Room Names at The Commons & Updating Rental Advertisement

Video: Recently, we created a short instructional video explaining how to make a reservation at The Commons. Based on public comments, it's clear the video is lacking key information, which confirmed my own concerns that it felt rushed and underdeveloped.

Community members also suggested renaming the rooms at The Commons to better reflect a Yachatanian sense of place. I believe this is a strong recommendation and one we should move forward with.

I propose renaming the rooms and redoing the rental advertisement video with a more thoughtful, comprehensive approach. The updated video would briefly walk through each rentable space available across all locations, including The Commons, the Little Log Church & Museum (LLCM), and the library conference room. While it's important to keep the video short enough to hold audience

attention, it also needs to clearly communicate what spaces are available and what makes each one unique.

A well-planned, cohesive video would improve clarity for residents and visitors alike and better support our rental program moving forward.



City of Yachats Workgroup Report- March 2026 - DUE March 30th

Workgroup: Trails/YIPS

Report Date: 03/25/2026

Overview of Activities

- Weeding done in Peace Parks and the area S of the library
- Adding a step to the steep section of Amanda Trail
- Widening and adding gravel to sections of the Amanda Trail
- Several trail volunteers have spent >100 hours helping OPRD make improvements to the 804 Trail

Next Steps and Future Plans

- Procure materials and build a fence along the west side of the area S of the library
- Coordinate with City staff in planning trail and plantings S of the library and around the E and W sides of the library

Requests for Support or Resources

-

Workgroup: Keeping Yachats Beautiful

Report Date: 3/24/26

Overview of Activities

- 3/27/26 is a scheduled weed day. Expecting around 8 or more to show. After we will go to the Green Salmon for drinks courtesy of Cheryl Templin, owner of the strip mall.
- We will weed in front of CK Market and between the 3rd and 4th.

Progress and Achievements

- Was able to find another person to adopt the flower bed on West 2nd and Hwy 101. Katrina Wilson from Waldport.

Next Steps and Future Plans

- Still would like to show Bobbie the Christmas tree area, to make it less weedy.
- Probably around July will need to bring in more wood chips for the beds.

Workgroup: Estuary Walkway

Report Date:

Overview of Activities

- Reviews of pre-final bidding and construction documents by Civil West, with Team comments. Preparation of documents to provide design guidance for built-in furnishings on Overlook. Review of effects of timing on grants, etc.

Progress and Achievements

- Prepare design guidance drawings for built-in furnishings at Overlook as requested by Neal and Rick.

Group Goals

- Review changes in design, drawings, and timing related to the change in engineering by Verdantas' acquisition of Civil West. Provide input to the City as requested. Formulate strategies to address delays in the completion of bidding and construction documents caused by the acquisition. Contact and communicate with Three Rivers Foundation concerning delays in the project with respect to the current grant.
- The estimate for completion of this project is year's end.

Recommendations

- Involvement of the Estuary Walkway Team in changes being undertaken by Verdantas
- Joanne will write a report to TRF requesting an extension of the grant award.

Workgroup: Under Stage Storage @ Commons

No new activity to report

From: [Kimmie Jackson](#)
To: [Adam Altson](#)
Subject: FW: Online Form Submission #410 for City of Yachats Volunteer Agreement
Date: Wednesday, March 4, 2026 8:20:00 AM

FYI

k

From: noreply@civicplus.com <noreply@civicplus.com>
Sent: Wednesday, February 25, 2026 11:15 AM
To: City Hall <cityhall@YachatsMail.org>; Kimmie Jackson <recorder@YachatsMail.org>
Subject: Online Form Submission #410 for City of Yachats Volunteer Agreement

City of Yachats Volunteer Agreement

City of Yachats

501 Highway 101 N

PO Box 345

Yachats, OR 97498

Phone: 541-547-3565

Fax: 541-547-3063

Thank you for your interest in volunteering for City of Yachats!

We value community involvement and look forward to partnering with volunteers to help us better serve the citizens of Yachats. To ensure the safety of our volunteers and protect the interests of the City, all prospective volunteers are required to complete a brief application and follow the process outlined below.

The application process includes the following steps:

1. Complete the volunteer application form & submit
2. The City Recorder will schedule a meeting between the applicant and

- the City Manager to discuss the role and what to expect.
3. The application will be forwarded to the relevant commission or committee for review.
 4. If selected to move forward, the applicant will be interviewed by the City Council.
 5. City Council will then vote on the appointment.

Thank you again for your willingness to contribute your time and talents. We appreciate your interest in serving our community!

First Name	William
Last Name	Reeves
Address	[REDACTED]
City	Yachats
State	OR
Zip Code	97498
Daytime Phone	[REDACTED]
Evening Phone	[REDACTED]
Email	[REDACTED]

(Section Break)

Volunteer Activity

<p>Please describe the type of volunteer work you are interested in performing, activity/event, or Commission/Committee you wish to volunteer for.</p>	<p>Working with the Community Spaces Committee. I am Bass Trombonist with the Yachats Big Band and act as liason with Rosa Matchand on setup and use for our monthly Big Band Concerts. I also participate in other activities at the Commons and would like to help.</p>
--	---

<p>Please list the date(s) or</p>	<p>I guess the committee is once a month, three year term.</p>
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range of dates for which
you would like to
volunteer

Statement of Interest or
Related Experience for
Commissions &
Committees

Mary and I moved here in 2019 and lived across the street from the then Mayor. With a lot that goes on in the community. I was involved in community support for a commercial building In Salida Colorado and on the commission for the Salida Airport.

Upload document, if
needed

Field not completed.

(Section Break)

References

*Please list two references that are **not related to you** and that have knowledge of your relevant experience for the type of volunteer activity you are interested in.*

Reference 1

First Name

Quinton

Last Name

Smith

Address

Field not completed.

City

Yachats

State

OR

Zip Code

97498

Phone Number

██████████

Relationship

Neighbor

Years Known

7 years

Reference 2

First Name

Neal

Last Name

Morphis

Address

city hall

City	Yachats
State	OR
Zip Code	97498
Phone Number	<i>Field not completed.</i>
Relationship	It's his fault I'm applying
Years Known	2

Emergency Information

Name and contact information for the person(s) to reach in the event of an emergency.

Name	Mary Reeves
Phone Number	██████████
Relationship	Wife
Name	<i>Field not completed.</i>
Phone Number	<i>Field not completed.</i>
Relationship	<i>Field not completed.</i>

I understand and agree to the following:

- I will keep all issues pertaining to city business confidential
- I may be subject to background and motor vehicle record checks.
- I will adhere by Oregon Occupational Safety and Health Division (OR-OSHA) safety standards and training I am provided.
- I have read and understand the Volunteer Policy.

I hereby certify that the facts set forth in this volunteer registration are true to the best of my knowledge. I agree that if the information given in my registration, resume, or any other materials, or during any interview, is found to be false in any way, it shall be considered sufficient cause for denial of volunteer status.

I understand that City of Yachats is not obligated to appoint me to a volunteer position and that nothing contained in the volunteer registration form is intended to create a contract between City of Yachats and me. In addition to the above items, I agree to comply with the policies, rules, regulations, and procedures of

City of Yachats, which I understand may change at any time and I understand that my volunteer status can be terminated with or without cause or notice, at any time, at the option of either me or City of Yachats.

Signature William Reeves

Date 2/25/2026

Required for all Minors: Parent or Guardian's Authorization for Medical Care & Consent to Agreement

I PARENT/GUARDIAN as parent or legal guardian, hereby grant permission for MINOR to do volunteer work for City of Yachats. In the event of an emergency, accident, or illness, I authorize City of Yachats and its employees to administer emergency medical care to my child and/or, if deemed necessary, to secure emergency medical services and incur expenses for which I will be responsible for payment. My signature in the following hereby represents that I have read, understand, and to this agreement.

Parent/Guardian *Field not completed.*

Minor *Field not completed.*

Signature *Field not completed.*

Date *Field not completed.*

Version 2025-08-28

Email not displaying correctly? [View it in your browser.](#)